



COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | BUILDING & PLANNING 541-917-7550

Staff Report

Site Plan Review – New Construction

SP-18-23

August 18, 2023

Summary

The proposal is a Site Plan Review application for the construction of an approximately 9,860-square-foot, office building with associated site improvements.

The site is a 0.86-acre property located east of 2125 Pacific Boulevard SW at Linn County Assessor's Map 11S-04W-13AA Tax Lot 3309 and developed with a partially improved parking lot. The site is zoned Community Commercial (CC) with a Commercial - General Comprehensive Plan designation. A location and zone map are included as Attachment A.

The following criteria are addressed in this report: Site Plan Review criteria contained in Albany Development Code (ADC) 2.450 and additional Site Plan Review criteria for Non-residential Development in ADC 2.455. These criteria must be satisfied to grant approval for this application.

As presented in this report, the proposed development application satisfies all applicable review criteria; therefore, this land use application APPROVED with CONDITIONS.

Application Information

Type of Application:	Site Plan Review for New Construction
Review Body:	Staff (Type I-L Review)
Staff Report Prepared By:	Liz Olmstead, project planner
Property Owner:	Pacific Prosperity, LLC, 33201 SE Peoria Road, Corvallis, OR 97333
Applicant:	Eyecare Associates Albany Building, LLC, 3125 Ryan Drive SE, Salem, OR 97301
Address/Location:	Unassigned Address, east of 2125 Pacific Boulevard SW
Map/Tax Lot:	Linn County Assessor's Map No. 11S-04W-13AA Tax Lot 3309
Zoning:	Community Commercial (CC)
Comprehensive Plan:	Commercial General
Overlay Districts:	None
Total Land Area:	0.86 acres
Existing Land Use:	Vacant with a partially improved parking lot
Neighborhood:	West Albany
Surrounding Zoning:	North: Community Commercial (CC) East: Light Industrial (LI) South: Community Commercial (CC) West: Community Commercial (CC)

		Required	Proposed
Building Size		Maximum 100,000 square feet	9,860 square feet
Setbacks	North	No setback required as all lot lines are interior.	58 feet
	East		20 feet
	South		13 feet
	West		100 feet
Lot Coverage		90%	85%

This standard is met.

- 2.4 Building Height. Pursuant to ADC Table 4.090-1, the CC zoning district contains a maximum building height of 50 feet unless located within the Airport Overlay District. The subject property is not located within the Airport Overlay District and the proposed building height is 22 feet. This standard is met.
- 2.5 Density. There is no density standard associated with office uses in the CC zone. This standard is not applicable.
- 2.6 Loading Standards. ADC 4.260 exempts office uses from providing loading spaces on the site. This standard is met.
- 2.7 Landscaping, Buffering, and Screening. See finding under Criterion Six below pertaining to Article 9. Landscaping, buffering, and screening standards are incorporated herein by reference.
- 2.8 Outside Storage. The applicant does not propose outside storage and display. This standard is not applicable.
- 2.9 Screening of Refuse Containers. ADC 4.300 requires any refuse container or disposal area that would otherwise be visible from a public street, customer or resident parking area, public facility, or any residential area must be screened from view by placement of a sight-obscuring fence, wall, or hedge at least six feet tall. All refuse materials must be contained within the screened area.

The submitted site plan (Attachment B) indicates a refuse container area southwest of the proposed structure. The refuse container is not located within 15 feet of any dwelling window or within a required setback area. The refuse container area will be screened with a six-foot-tall sight obscuring fence, complying with the standards of ADC 5.370. This standard is met.

Conclusions

- 2.1 The proposal meets all applicable development standards.
- 2.2 This review criterion is met without conditions.

Criterion 3

Activities and developments within special purpose districts comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.

Findings of Fact

- 3.1 Article 4 Airport Approach district. According to Figure 4.410-1 of the ADC, the subject property is not located within the Albany Airport Approach district.
- 3.2 Article 6 Significant Natural Vegetation and Wildlife Habitat. *Comprehensive Plan Plate 3: Natural Vegetation and Wildlife Habitat*, does not show any areas of vegetation or wildlife habitat on the property.

- 3.3 Article 6: Floodplains. *Comprehensive Plan Plate 5: Floodplains*, shows the FEMA Flood Insurance Rate Map (FIRM), Community Panel No. 41043C0526G, dated September 29, 2010, the subject property is located outside of the Special Flood Hazard Area (SFHA), (aka 100-year floodplain).
- 3.4 Article 6: Wetlands. *Comprehensive Plan Plate 6: Wetland Sites*, shows this property has no significant wetland overlay districts on the subject property.
- 3.5 Article 6: Topography. *Comprehensive Plan, Plate 7: Slopes*, does not show any steep slopes on this property where development is proposed.
- 3.6 Article 7: Historic and Archaeological Resources. *Comprehensive Plan, Plate 9: Historic Districts*, shows the property is not located in a historic district. There are no known archaeological sites on the property.

Conclusions

- 3.1 The subject property is not located in any special purpose (overlay) districts; therefore, the special purpose districts and regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), are not applicable.
- 3.2 This criterion is met without conditions.

Criterion 4

The application complies with all applicable Design Standards of Article 8.

Findings of Fact

- 4.1 Applicability. ADC 8.315 applies to new developments and to the expansion of existing developments where commercial and/or institutional uses, as defined in Article 22, are existing or proposed including when such uses are part of a mixed-use development or live/work dwelling unit, with some listed exceptions. The proposal is for new commercial development (office use) and is therefore subject to the standards of ADC 8.310 – 8.390.
- 4.2 Relationship to Historic Overlay Districts: ADC 8.320 requires designated historic resources to comply with the standards in Article 7. The site is not located in a historic district, nor does the property contain designated historic resources. This standard is not applicable.
- 4.3 Entrance Orientation and Parking Location: ADC 8.330(1) requires new buildings to be oriented to existing or new public streets by placing the building(s) and public entrance(s) close to streets, except if a proposed building is separated from the street by another building(s). The subject property is landlocked and separated from Pacific Boulevard SW by a parcel with an existing commercial structure. As such, the proposed building is exempt from the standard in accordance with ADC 8.330(1)(b). This standard is met.
- 4.4 Parking Location: According to ADC 8.330(2), off-street parking must be located to the side or rear of the building(s) and not between the building and the street, except there the applicant demonstrates that one or more situations listed in (a) through (e) applies, and the buffer standard in subsection (3) is met. The subject property is landlocked and located east of 2125 Pacific Boulevard SW, which is improved with a building and associated site improvements. The subject property is served by a reciprocal access easement through 2125 Pacific Boulevard SW. Therefore, locating parking to the side of the rear of the proposed structure is not feasible as the site does not have frontage on a public street and is solely accessed by an access easement. This standard is met.
- 4.5 Parking Lot Buffer: ADC 8.330(3) states that where a landscape buffer is required pursuant to subsection (2), a minimum 10-foot-wide landscape buffer meeting the landscape standards in ADC 9.240 must be placed between the parking area and the street. As the subject property does not have frontage along a street and is served by an access easement, a landscape buffer is not required. This standard is met.
- 4.6 Regulated Facades. According to ADC 8.345(1), the following standards apply to any façade that faces toward or within 45 degrees of a front lot line, with exceptions. ADC 8.345(1)(a) states that when there is more than one building on the site, these standards do not apply to any portion of a

- building that is separated from the front lot line by another building, based on a line perpendicular to the front lot line. The subject property is a landlocked property located east of 2125 Pacific Boulevard SW, a developed property, and does not contain a front lot line. Therefore, this standard is not applicable.
- 4.7 Connectivity between sites: ADC 8.350(2) requires connectivity between sites to promote connectivity and dispersal of traffic and efficient circulation between properties. New development may be required to provide street or driveway stubs and reciprocal access easements to, and for, adjacent properties. The subject property is served by a reciprocal access easement with connectivity to the street via the property to the west. The applicant must record a reciprocal access easement providing access to the subject property through the property located at 2125 Pacific Boulevard SW prior to building permit issuance. This standard is met as conditioned.
- 4.8 Internal Circulation System: ADC 8.350(3) requires an internal circulation system on the site. Interior drive aisles are required when a connecting drive aisle is more than 100 feet in length. There are no interior drive aisles on the subject property more than 100 feet in length. This standard is met.
- 4.9 Pedestrian Amenities: according to ADC 8.360 pedestrian amenities are required to enhance pedestrian comfort by providing awnings, seating, special paving, planters, and similar improvements. New buildings or expansions or modifications to existing buildings shall provide pedestrian amenities with a total point value not less than the minimum amount shown in Table 8.360-1. Proposed new building areas between zero and 20,000 square feet require one pedestrian amenity point per 2,500 square feet. The proposed building is 9,860 square feet; therefore, the proposal requires four pedestrian points ($9,860 / 2,500 = 3.9$ (4)). Table 9.360-2 assigns point values of pedestrian amenities. The applicant proposes to provide weather protection over the front entrance of the building for more than fifteen lineal feet (3 points), and two 4-person benches on either side of the main entrance (2 points) for a total of five points. This standard is met.
- 4.10 Pedestrian and Bicycle Connections: According to ADC 8.370, pedestrian and bicycle standards are required to help ensure convenient pedestrian and bicycle access to nearby streets, adjacent uses, and transit stops. Except where impractical, pedestrian and bicycle connections shall be provided between existing or planned transit stops and new development that is at or within 200 feet of the existing or planned transit stop. The proposed development is more than 200 feet from existing transit stops. This standard is met.
- 4.11 Pedestrian Route: A direct and convenient pedestrian route shall be provided between the main building entrance(s) and the nearest sidewalk abutting the site or roadway where there is no sidewalk, and a direct and convenient bicycle route shall be provided between the bicycle parking and the nearest bicycle path abutting the site or roadway where there is no bicycle path. A five-foot wide striped crosswalk for pedestrians and bicycles will be provided from the proposed building to Pacific Boulevard SW. This standard is met.
- 4.12 Pedestrian and Bicycle Connections: Pedestrian and bicycle connections shall be constructed of concrete, asphalt, brick, masonry pavers, or other hard surface not less than five feet wide. The proposed pedestrian and bicycle connection will be constructed on asphalt and marked with paint. This standard is met.
- 4.13 Light Shielding: ADC 8.390(1) requires any light source or lamp that emits more than 900 lumens to be concealed or shielded to minimize the potential for glare and unnecessary diffusion on adjacent property. The applicant stated that site lighting will consist of downcast parking lot lighting and building wall packs in compliance with the standard.
- 4.14 Screening: ADC 8.390(4) requires service areas, equipment, utilities, and similar exterior improvements to be screened. The site plan indicates a proposed refuse containers area. The applicant states the refuse container area will be screened with a six-foot-tall sight obscuring fence.

Conclusion

- 4.1 The proposed development meets the design standards of Article 8.

4.2 This criterion is met, as conditioned.

Condition

Condition 1 Access easement. Prior to building permit issuance, the applicant must record a reciprocal access easement providing access to the subject property through the property located at 2125 Pacific Boulevard SW. A copy of the recorded easement must be provided to the Community Development Department.

Criterion 5

The application complies with all applicable Design Standards of Article 10.

Findings of Fact and Conclusion

5.1 Article 10 pertains to manufactured homes, manufactured home parks, and RV parks. The applicant does not propose to develop the site with a manufactured home, manufactured home park, or RV park.

5.2 This standard is not applicable.

Criterion 6

The application complies with all applicable On-Site Development and Environmental Standards of Article 9.

Findings of Fact

6.1 Parking. OAR 660-012-0440(3) states: “*Cities and counties may not enforce parking mandates for developments on a lot or parcel that includes lands within one-half mile of frequent transit corridors.*” Two transit stops are located near the property frontage, at Pacific Boulevard SW and 24th Avenue SW, and Pacific Boulevard SW between 18th Ave SW and 19th Ave SW, both of which are serviced at least once an hour. Although not required, the applicant proposes 39 on-site parking spaces.

6.2 Surfacing. ADC 9.120(3) requires parking, including travel aisles and access shall have a durable, dust-free surface. The submitted site plan (Attachment B) shows the entirety of the parking lot as paved. This standard is met.

6.3 Drainage. ADC 9.120(4) requires all parking lots provide a drainage system to dispose of stormwater runoff. Findings regarding the proposed stormwater system are found below under Criterion Seven and incorporated here by reference.

6.4 Perimeter Curb. ADC 9.120(5) requires perimeter curbing around all parking areas. The applicant’s site plan indicates perimeter curbing will be provided around all parking areas. This standard is met.

6.5 Wheel Bumper. ADC 9.120(6) requires wheel bumpers be used when parking stalls front a sidewalk, alleyway, street, or property line. Wheel bumpers must be installed in parking spaces facing the building unless the adjacent sidewalk is at least seven feet six inches wide to accommodate vehicle encroachment. The submitted site plan (Attachment B) depicts a seven foot six-inch-wide pedestrian sidewalk adjacent to the proposed parking spaces. This standard is met.

6.6 Turnaround. ADC 9.120(7) requires groups of more than two parking spaces to be located and served by an aisle or turnaround so that their use will require no backing movements or other maneuvering in a street right-of-way other than an alley. The proposed parking area has been designed to ensure no backing movement or other maneuvering in a street right-of-way will be required. This standard is met.

6.7 Striping. ADC 9.120(8) requires parking stalls to be permanently and clearly striped. The applicant’s site plan indicates the parking lot will be striped and accessible pavement markings are shown per applicable ADA requirements. This standard is met.

6.8 Connecting to Adjacent Parking Areas. ADC 9.120(9) requires parking lots to connect to adjacent existing or future parking areas. This requirement for connection to adjacent parking areas can be waived when it is deemed impractical or inappropriate due to the nature of the adjoining uses. There is an existing reciprocal access easement providing access to the neighboring properties to the

- north and west. A parking lot connection to the south is impractical due to the existing building location. This standard is met.
- 6.9 Parking Lot Landscaping. ADC 9.120(10) requires parking lots over 1,000 square feet (contiguous) to conform with the parking lot landscaping standards found in ADC 9.150. The applicant's site plan shows appropriately placed planter bays in the parking lot and a landscaping plan along property lines but does not include landscaping details. As a condition of approval, the applicant shall submit a landscaping and irrigation plan detailing compliance with the parking lot landscaping requirements of ADC 9.150.
- 6.10 Compact Car Parking. ADC 9.120(11) allows up to 40 percent of the required parking stalls to be compact; however, no parking is required with this development. The applicant proposes two compact stalls, which is five percent of the proposed parking.
- 6.11 Accessible Parking. ADC 9.120(12) requires accessible parking be provided in conformance with the Oregon Structural Specialty Code. As indicated in the proposed site plan, the applicant has provided accessible parking and an accessible route to the building. Conformance with the Oregon Structural Specialty Code will be assessed at the time of building permit.
- 6.12 Bicycle Parking. Although bicycle parking is not required because automobile parking is not required, provided bicycle parking must meet the standards of ADC 9.120(13)(c). The applicant's site plan did not provide details to confirm compliance with the development code, therefore, as a condition of approval, the applicant shall provide a plan detailing compliance with bicycle parking standards per ADC 9.120(13). The required bicycle parking must be installed prior to issuance of certificate of occupancy.
- 6.13 Lighting. ADC 9.120(14) requires lighting to be arranged to reflect light away from any abutting or adjacent properties. The applicant did not provide an outdoor lighting plan for the development site. All outdoor lighting shall provide glare shields as required to ensure light intrusion does not occur on adjacent properties or within the public right-of-way. As a condition of approval, all exterior lighting shall be directed down, contained on site, and shielded, with a full cut-off design in accordance with ADC 9.120(14).
- 6.14 Pedestrian Access. ADC 9.120(15) requires walkways and accessways to be provided from the front door of new buildings to public sidewalks. The site plan indicates a proposed walkway from the front door of the proposed building to the public right-of-way. This standard is met.
- 6.15 Off-Street Parking Lot Design. ADC 9.130 states that all off-street parking lots over 1,000 square feet (contiguous) must be designed in accordance with City standards for stalls and aisles set forth in Table 9.130-1. The applicant proposes 39 parking spaces on the site and is subject to off-street parking lot design standards.
- 6.16 Compact Spaces. ADC 9.130(1) states that compact spaces shall be at least 8 feet wide by 16 feet long. The proposed spaces are eight and a half feet wide and thirteen feet long. Because the parking spaces are adjacent to landscaping, the stall length may be reduced by 3 feet, for a stall length of 13 feet. This standard is met.
- 6.17 Accessible Spaces. According to ADC 9.130(2), accessible spaces shall be a minimum of nine feet wide and 17 feet long and designed in accordance with the Oregon Structural Specialty Code (OSSC). An adjacent aisle must be provided that is at least eight feet wide and 17 feet long for a van-accessible space, and six feet wide for a standard accessible space. The proposed accessible spaces are at least nine feet wide and 18 feet long, with an eight-foot aisle. This standard is met.
- 6.18 Stall Width. ADC 9.130(3) requires long term parking spaces to be at least 8.5 feet side and parking stalls for grocery stores or adjacent to planter islands to be at least 9.5 feet wide. As the development is not for a grocery store, the proposed parking stalls are at least nine feet wide and nine and a half feet wide adjacent to planter islands. This standard is met.

- 6.19 Minimum Aisle Widths. ADC 9.130(4) states that aisles for two-way traffic and emergency vehicle operations must be at least 24 feet wide. The proposed two-way traffic aisles are 26 feet wide. This standard is met.
- 6.20 Landscaping. ADC 9.140(2) requires all required front and interior setbacks (exclusive of access ways and other permitted intrusions) shall be landscaped before an occupancy permit will be issued unless the landscaping is guaranteed in accordance with ADC 9.190. The subject property is a landlocked parcel that abuts CC zoned property to the north, south, and west, and LI zoned property to the east. Therefore, setbacks, perimeter landscaping, and buffering are not required for the proposed development. This standard is not applicable.
- 6.21 Buffering and Screening. Pursuant to ADC 9.210, Table 9.210-1 the proposed development, office use abutting commercial uses does not require a landscape buffer or screening. This standard is not applicable.
- 6.22 Planter Bays. ADC 9.150(1) states parking areas shall be divided into bays of not more than 12 parking stalls and the end of each parking bay shall be a curbed planter at least five feet wide. The proposed site plan shows planter bays at least six feet in width. This standard is met.
- 6.23 Entryway Landscaping. ADC 9.150(2) requires both sides of the parking lot entrance to be bordered by a minimum five-foot-wide landscape planter strip meeting the same landscaping provision as planter bays. The site does not have a parking lot entrance from the right-of-way as it is landlocked and accessed through the property to the east with access provided by a shared access easement. This standard is not applicable.
- 6.24 Parking Space Buffers. ADC 9.150(3) requires parking areas to be separated from the exterior wall of a structure by pedestrian walkways or loading areas or by a five-foot strip of landscaping. As shown on the applicant's site plan, the proposed building is separated from parking areas by 7.5-foot-wide pedestrian walkways.
- 6.25 Irrigation of Required Landscaping. ADC 9.160 requires all required landscaped areas to be provided with an irrigation system unless a licensed landscape architect, landscape construction professional, or certified nurseryman provides documentation that the plants do not require irrigation. The applicant is installing planter bays as required adjacent to parking; therefore, the applicant shall install an irrigation system or submit written verification that the proposed landscaping does not require irrigation prior to the issuance of final occupancy.
- 6.26 Environmental Standards. ADC 9.440 - 9.500 includes environmental standards related to noise, visible emissions, vibrations, odors, glare, heat, insects, rodents, and hazardous waste. The design and operating characteristics of the proposed development are comparable to other commercial operations in the vicinity, and therefore, no adverse environmental impacts are anticipated.

Conclusions

- 6.1 The proposal conforms with the applicable environmental standards, as conditioned.

Conditions

- Condition 2 Bicycle Parking.** A bicycle parking plan in compliance with ADC 9.120(13) shall be submitted for review and approval by the Community Development Department. Bicycle parking must be installed prior to the issuance of a certificate of occupancy.
- Condition 3 Landscaping and Irrigation.** A final landscape and irrigation plan shall be submitted for review and approval by the Community Development Department. The plan must be consistent with the landscaping and irrigation standards of ADC 9.140, 9.150, and 9.160.
- Condition 4 Exterior Lighting.** Site lighting shall be directed down, contained on site, and shielded, full cut-off design in accordance with ADC 9.120(14).

Condition 5 Pedestrian Connections. Prior to the issuance of any occupancy, pedestrian access from the public right-of-way to the proposed development shall be constructed.

Criterion 7

The Public Works Director has determined that public facilities and utilities are available to serve the proposed development in accordance with Article 12 or will be made available at the time of development.

Findings of Fact

Sanitary Sewer

- 7.1 City utility maps show a 24-inch public sanitary sewer main north of the subject property on adjacent property and a 24-inch public sanitary sewer west of the subject property in Pacific Boulevard SW. The property is not connected to the public sanitary sewer system.
- 7.2 ADC 12.470 requires all new development to extend and/or connect to the public sanitary sewer system if the property is within 300 feet of a public sewer line.
- 7.3 The applicant's preliminary site plan indicates that the proposed development will be connected to a new private sewer lateral serving the site from the sanitary sewer main to the north.
- 7.4 An encroachment permit from the Public Works Department is required before work is started on this sewer lateral construction.
- 7.5 AMC 10.01.080(2) states that before the City will issue a building permit, the applicant must pay to the City the necessary System Development Charges and any other applicable fees for connection to the public sanitary sewer system.

Water

- 7.6 City utility maps show a 12-inch public water main along the northern boundary line of the subject property and a 16-inch public water main along the eastern boundary line of the subject property. The property is currently not connected to the public water system.
- 7.7 The City of Albany's access gate is located at the southeast corner of the property. This access will be blocked by the building and shall be relocated to the northeast corner of the site.
- 7.8 Public utility easements of at least 15 feet in width, centered over the main, are required for all public water lines and appurtenances (ADC 12.370). Permanent structures are not allowed to encroach on a public utility easement or be placed over a public water line (AMC 11.01.290).
- 7.9 A standard public utility easement of 15 feet will be required over the water main along the northern boundary line centered over the water main. A public utility easement of 15 feet will be required over the water transmission main along the eastern boundary line as measured from the property line.
- 7.10 The applicant's preliminary utility plan indicates that the proposed development will connect with a new water service.

Storm Drainage

- 7.11 City utility maps show a public storm drainage channel in Pacific Boulevard.
- 7.12 Pacific Boulevard is improved to city standards with curb, gutter along the subject property frontage.
- 7.13 It is the property owner's responsibility to ensure that any proposed grading, fill, excavation, or other site work does not negatively impact drainage patterns to, or from, adjacent properties. In some situations, the applicant may propose private drainage systems to address potential negative impacts to surrounding properties. Private drainage systems that include piping will require the applicant to obtain a plumbing permit from the Building Division prior to construction. In addition, any proposed drainage systems must be shown on the construction drawings. The type of private drainage system, as well as the location and method of connection to the public system must be reviewed and approved by the City of Albany's Engineering Division.

- 7.14 ADC 12.530 states that a development will be approved only where adequate provisions for storm and flood water run-off have been made, as determined by the City Engineer.
- 7.15 The applicant has submitted a preliminary drainage report that shows the installation of on-site stormwater system connecting to a public drainage channel in Pacific Boulevard SW. Final design details for these storm drainage facilities will be reviewed in conjunction with building permits. On-site private storm system outfalls shall be permitted by Oregon Department of Transportation.
- 7.16 AMC 12.45.030 and 12.45.040 require that a post-construction stormwater quality permit shall be obtained for all new development and/or redevelopment projects on a parcel(s) equal to or greater than one acre, including all phases of the development, where more than 8,100 square feet of impervious surfaces will be created or replaced. (Ord. 5841 § 3, 2014).
- 7.17 Because the site is smaller than one acre, post-construction stormwater quality will not be required.

Conclusions

- 7.1 Public utilities (sanitary sewer, water, storm drainage) are available and adequate to serve the proposed development.
- 7.2 Before the applicant can make a new sewer service connection to the public sewer system an Encroachment Permit must be obtained from the Public Works Department.
- 7.3 The applicant shall relocate the City of Albany's canal access gate to the northeast corner of the site.
- 7.4 A public utility easement of 15 feet will be required centered over the water main along the northern boundary line. A public utility easement of 15 feet will be required over the water main along the eastern boundary line measured from the eastern property line.
- 7.5 The applicant shall construct stormwater detention facilities to provide storm and flood-water controls. Before the City will issue any occupancy permit for the proposed project, the applicant must construct stormwater detention facilities that comply with the City's Engineering Standards.
- 7.6 The applicant's preliminary storm water collection plans have been reviewed and are generally acceptable.
- 7.7 This criterion is met as conditioned.

Conditions

- Condition 6** Before the applicant can make a new sewer service connection to the public sewer system, an Encroachment Permit must be obtained from the Public Works Department.
- Condition 7** The applicant shall relocate the City of Albany's canal access gate to the northeast corner of the site and provide 15-foot-wide access easement to the canal.
- Condition 8** Prior to issuance of building permits, the applicant must dedicate a 15-foot-wide easement centered over the water main along the northern boundary line and a 15-foot-wide public utility easement over the water main along the eastern boundary line as measured from the eastern property line.
- Condition 9** Prior to any occupancy permit for the proposed project, the applicant must construct stormwater detention facilities in compliance with the City's Engineering Standards.

Criterion 8

The Public Works Director has determined that transportation improvements are available to serve the proposed development in accordance with Article 12 or will be available at the time of development.

Findings of Fact

- 8.1 ADC 12.060 requires that all streets within and adjacent new development be improved to city standards. The site has no direct street frontage and will be provided access to Pacific Boulevard SW via an access easement over the adjoining parcel at 2125 Pacific Boulevard SW.

- 8.2 ADC 12.290 requires new development to install public sidewalk improvements on all public streets within and adjacent to the development. This site does not adjoin a public street, nor does it propose the creation of any internal public streets.
- 8.3 Pacific Boulevard SW is classified as a principal arterial street under the jurisdiction of ODOT and improved to city standards along the frontage of the development site. Improvements include curb and gutter; two vehicle travel lanes in each direction, a two-way center left turn lane, and on-street bike lanes.
- 8.4 Access to the site will be provided by an access easement over the adjoining parcel to the west and will utilize an existing driveway approach and private parking lot travel aisles. No new driveways are proposed with the development.
- 8.5 Staff estimated site trip generation based on Institute of Transportation Engineers (ITE) trip generation rates. Trip generation for the proposed use was estimated by using ITE trip rates for category 720, "Medical/Dental Office Building". The proposed use was estimated to generate a total of 355 average daily trips (ADT), of which 39 are expected to occur during the peak PM traffic hour. Albany's threshold for submittal of a trip generation estimate is 50 peak hour trips. Developments that generate 100 or more peak hour trips are required to submit a TIA.
- 8.6 Albany's Transportation System Plan does not identify any congestion or capacity issues occurring along the frontage of the site.
- 8.7 The applicant proposes to vacate the existing 25-foot access easement (Vol. 160 Pg. 327) along the south property line as shown on the submitted site plan, Attachment B. A copy of the vacated easement must be submitted to the Community Development Department prior to building permit issuance.

Conclusions

- 8.1 ADC 12.060 and 12.290 require all public streets adjoining new development be improved to city standards. The adopted city standard for street improvement includes curb, gutter, and sidewalk.
- 8.2 The development does not have direct frontage on a public street. Access to Pacific Boulevard SW will be provided via an easement over the adjoining parcel to the west.
- 8.3 The development is not projected to generate sufficient trips to require submittal of a trip generation estimate or TIA. Albany's TSP does not identify any congestion or capacity issues occurring adjacent to the site.

Condition

- Condition 10** Prior to building permit issuance, the applicant must vacate the existing 25-foot access easement (Vol. 160 Pg. 327) along the south property line as shown on the submitted site plan, Attachment B. A copy of the vacated easement must be submitted to the Community Development Department prior to building permit issuance.

Criterion 9

The proposed post-construction stormwater quality facilities (private and/or public) can accommodate the proposed development, consistent with Title 12 of the Albany Municipal Code.

Findings of Fact and Conclusion

- 9.1 See Findings under Site Plan Review Criterion Seven (above) related to stormwater quality standards in response to this review criterion. These findings are incorporated here by reference.
- 9.2 This criterion is met as conditioned in Criterion Seven (above).

Criterion 10

The proposal meets all existing conditions of approval for the site or use, as required by prior land use decision(s), as applicable.

Findings of Fact and Conclusion

- 10.1 There are no prior vested land use decisions for this property to meet.

10.2 This criterion is not applicable.

Criterion 11

Sites that have lost their nonconforming status must be brought into compliance and may be brought into compliance incrementally in accordance with Section 2.370.

Findings of Fact and Conclusion

11.1 The site is vacant and is not considered nonconforming. This criterion is not applicable.

Analysis of Development Code Criteria

Section 2.455 of the ADC includes the following review criteria applicable to non-residential development, which must be met for this application to be approved. Development code criteria are written in bold followed by findings, conclusions, and conditions of approval where conditions are necessary to meet the review criteria.

Criterion 1

The transportation system can safely and adequately accommodate the proposed development.

Findings of Fact and Conclusions

- 1.1 Transportation findings and conclusions under Site Plan Review Criterion Eight (above) are incorporated here by reference.
- 1.2 Based on the findings and conclusions under Site Plan Review Criterion Eight, the existing transportation system can safely and adequately accommodate the proposed development. This criterion is met.

Criterion 2

Parking areas and entrance-exit points are designed to facilitate traffic and pedestrian safety and avoid congestion.

Findings of Fact and Conclusions

- 2.1 Access to the site will be provided by an access easement over the adjoining parcel to the west and will utilize an existing driveway approach and private parking lot travel aisles. No new driveways are proposed with the development.
- 2.2 Pedestrian access will be provided from the proposed building through the property located to the west to Pacific Boulevard SW.
- 2.3 As proposed and conditioned, parking areas and entrance-exit points are designed to facilitate traffic and pedestrian safety and avoid congestion.
- 2.4 This criterion is met.

Criterion 3

The design and operating characteristics of the proposed development are reasonably compatible with surrounding development and land uses, and any negative impacts have been sufficiently minimized.

Findings of Fact and Conclusions

- 3.1 The new building proposed for an office use is allowed in the CC zoning district with site plan review approval.
- 3.2 The design of the building uses similar finish materials to what is used in nearby commercial buildings. As shown on Attachment C, the building will be constructed with metal siding and masonry in various neutral colors.
- 3.3 The applicant states the office use and hours of operation are similar to adjacent businesses and will not create off-site impacts such as excessive traffic, noise, or light pollution.

- 3.4 The subject property abuts properties located within the CC zoning district to the north, south, and west. The property to the east is located within the LI zoning district. There are no residentially zoned properties or properties in residential use surrounding the proposed development.
- 3.5 As proposed, the design and operating characteristics of the proposed development are reasonably compatible with surrounding development and land uses. This criterion is met.

Overall Conclusion

As proposed and conditioned, the application for Site Plan Review satisfies all applicable review criteria as outlined in this report.

Conditions of Approval

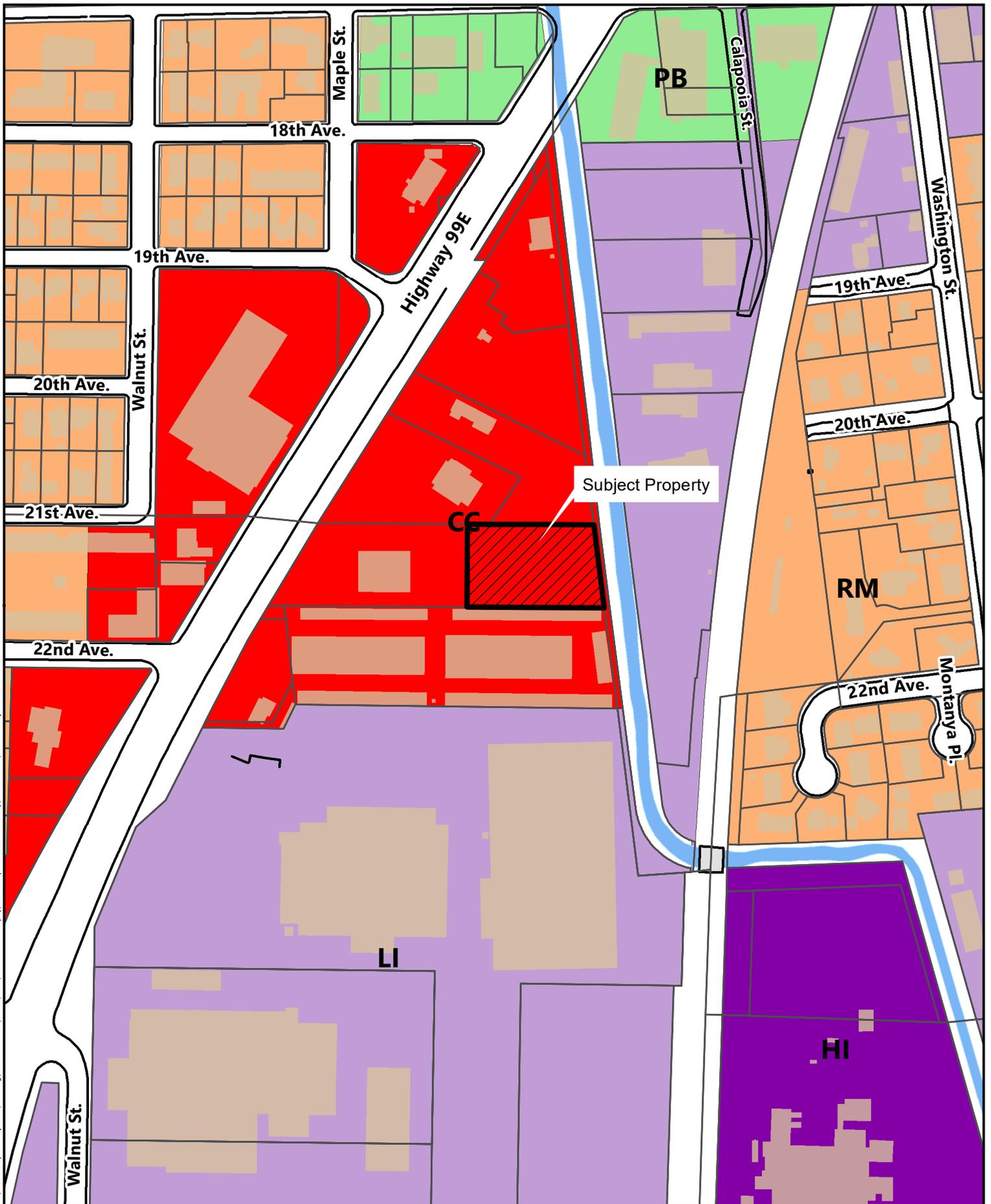
- Condition 1 Access easement.** Prior to building permit issuance, the applicant must record a reciprocal access easement providing access to the subject property through the property located at 2125 Pacific Boulevard SW. A copy of the recorded easement must be provided to the Community Development Department.
- Condition 2 Bicycle Parking.** A bicycle parking plan in compliance with ADC 9.120(13) shall be submitted for review and approval by the Community Development Department. Bicycle parking must be installed prior to the issuance of a certificate of occupancy.
- Condition 3 Landscaping and Irrigation.** A final landscape and irrigation plan shall be submitted for review and approval by the Community Development Department. The plan must be consistent with the landscaping and irrigation standards of ADC 9.140, 9.150, and 9.160.
- Condition 4 Exterior Lighting.** Site lighting shall be directed down, contained on site, and shielded, full cut-off design in accordance with ADC 9.120(14).
- Condition 5 Pedestrian Connections.** Prior to the issuance of any occupancy, pedestrian access from the public right-of-way to the proposed development shall be constructed.
- Condition 6 Sewer Connection.** Before the applicant can make a new sewer service connection to the public sewer system, an Encroachment Permit must be obtained from the Public Works Department.
- Condition 7 Access.** The applicant shall relocate the City of Albany's canal access gate to the northeast corner of the site and provide 15-foot-wide access easement to the canal.
- Condition 8 Easement.** Prior to issuance of building permits, the applicant must dedicate a 15-foot-wide easement centered over the water main along the northern boundary line and a 15-foot-wide public utility easement over the water main along the eastern boundary line measured from the eastern property line.
- Condition 9 Stormwater Detention.** Prior to any occupancy permit for the proposed project, the applicant must construct stormwater detention facilities in compliance with the City's Engineering Standards.
- Condition 10 Vacation of Easement.** Prior to building permit issuance, the applicant must vacate the existing 25-foot access easement (Vol. 160 Pg. 327) along the south property line as shown on the submitted site plan. A copy of the vacated easement must be submitted to the Community Development Department prior to building permit issuance.

Attachments

- A. Location Map
- B. Applicant's Narrative
- C. Site Plans
- D. Architectural Plans
- E. Written Testimony

Acronyms

ADC	Albany Development Code
ADT	Average Daily Trip
AMC	Albany Municipal Code
CC	Community Commercial Zoning District
FEMA	Federal Emergency Management Administration
FIRM	Flood Insurance Rate Map
ITE	Institute of Transportation Engineers
LI	Light Industrial Zoning District
SFHA	Special Flood Hazard Area
TIA	Traffic Impact Analysis
TSP	Transportation Systems Plan



G:\Community Development\Planning\Land Use Cases\2020s\2023\Site Plan Review (SP)\SP-01-23 (201 Pacific Blvd SW)\Public Notice Location Map.mxd

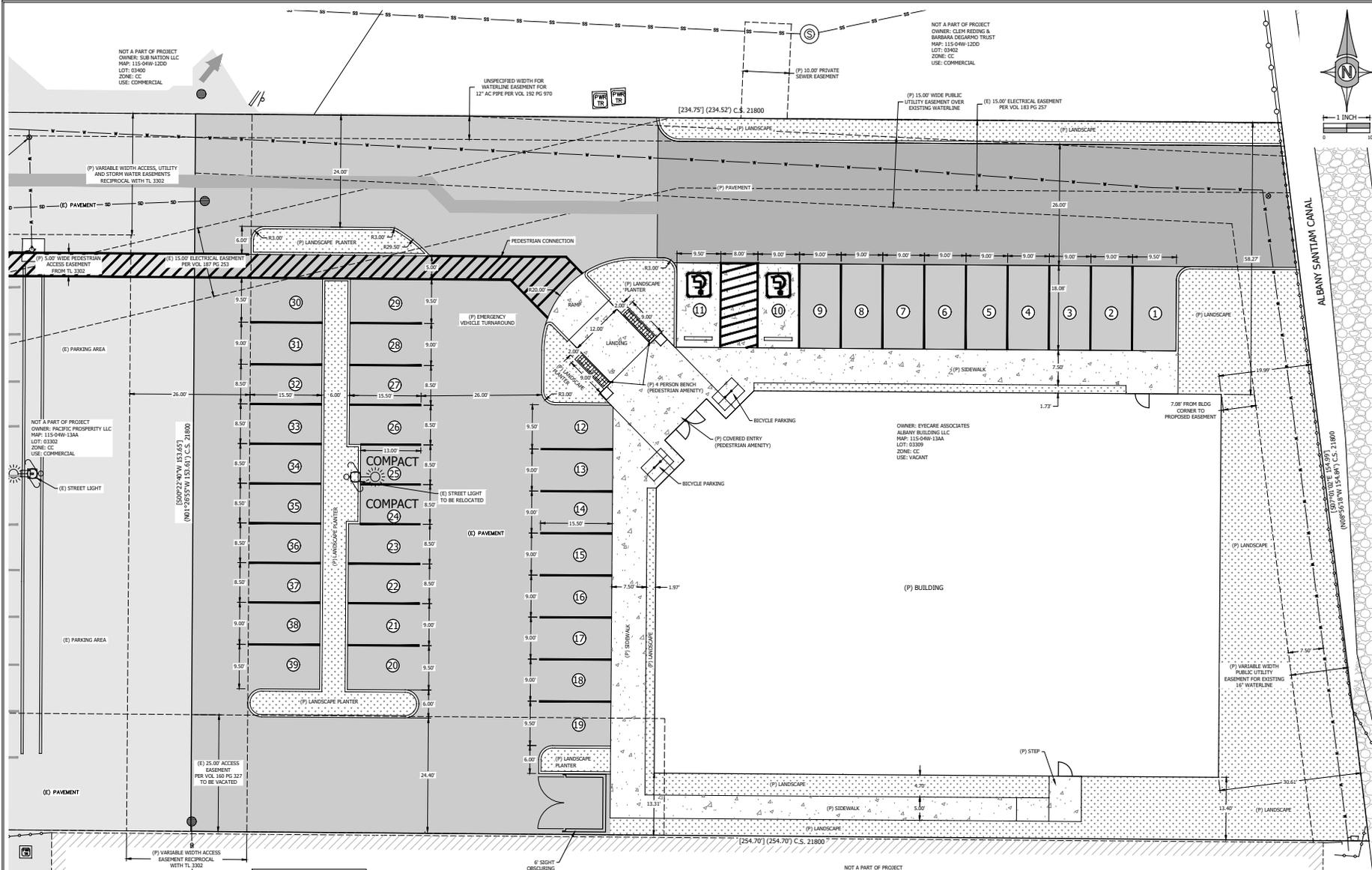


N
0 50 100 200
Feet

Unassigned Address (11S-04W-13AA Tax Lot 3309)

Date: 6/28/2023 Map Source: City of Albany

Location Map



CLIENT:
 NORTHWEST CUSTOM
 CONSTRUCTION, INC.
 C/O: LAYNE WESTBERG
 PO BOX 3048
 ALBANY, OR 97321

UDELL ENGINEERING
 AND
 LAND SURVEYING, LLC
 63 EAST ASH ST.
 LEBANON, OREGON 97355
 (541) 451-5125 PH.
 (541) 451-1566 FAX

PROPOSED SITE PLAN
 EYECARE ASSOCIATES
 MEDICAL OFFICE
 ALBANY, OR

DATE: JUNE 17, 2023
 PROJECT: 23-021 WESTBERG EYECARE ASSOC.
 DRAWN BY: BSW, TEB
 CHECKED BY: [Signature]
 NED

REVIEW COPY
 NOT FOR
 CONSTRUCTION

PARKING SUMMARY

BUILDING AREA 9860 SQF
 REQUIRED 39.4 STALLS
 PARKING SUPPLIED 39 STALLS

BIKE PARKING

VEHICLE SPACES 39
 REQUIRED 3.9 STALLS
 SUPPLIED 4 SPACES

IMPERVIOUS AREA
 LOT SIZE 0.86 AC

PERVIOUS AREA 0.15 AC
 IMPERVIOUS AREA 0.71 AC

83% OF LOT IS IMPERVIOUS

LANDSCAPE AREAS TO FOLLOW CITY OF ALBANY DEVELOPMENT CODE LANDSCAPING REQUIREMENTS.

6" SIGHT OBSTRUCTIONS ENCLOSURE

NOT A PART OF PROJECT
 OWNER: STORAGE PLACE OF ALBANY LLC
 MAP: 115-04W-13AA
 LOT: 0304
 ZONE: CC
 USE: COMMERCIAL

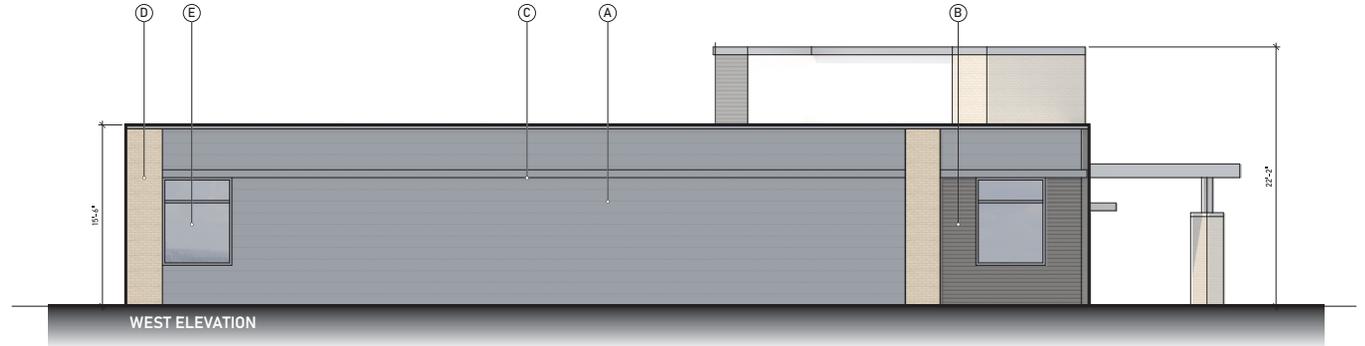
PLAN REVISIONS	DATE
SITE SHIFT WEST	JULY 17, 2023

Sheet **C103B**

SCALE: SEE BARSCALE

LEGEND

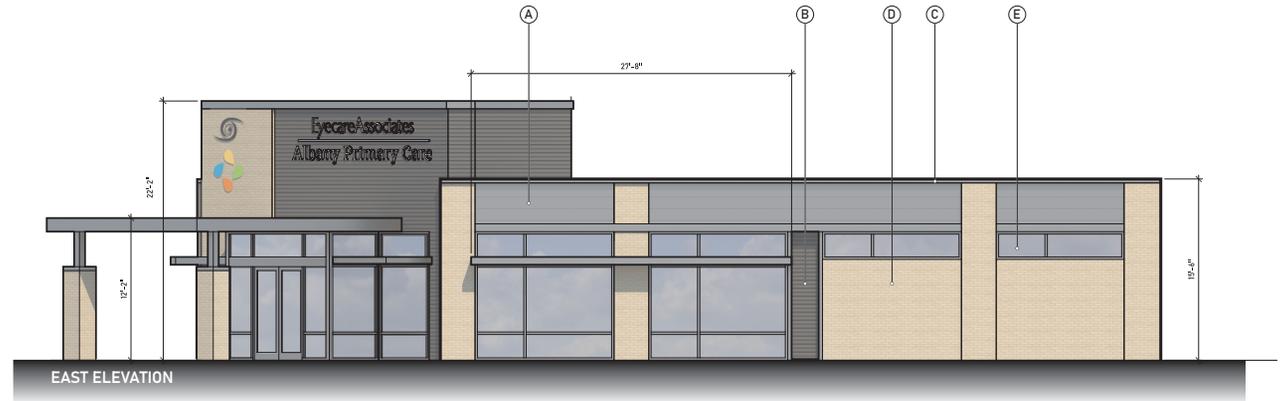
- A** SIDING: 12" FLUSH METAL PANEL
COLOR: GRAY
MANUFACTURER: TBD
- B** ACCENT SIDING: METAL PANEL, BOXRIB PROFILE
COLOR: DARK GRAY
MANUFACTURER: TBD
- C** FASCIAS, TRIMS, COPING
COLOR: MATCH STOREFRONT
MANUFACTURER: TBD
- D** MASONRY: MODULAR BRICK
COLOR: BUFF/YELLOW
MANUFACTURER: TBD
- E** STOREFRONT
COLOR: GRAY
MANUFACTURER: TBD



WEST ELEVATION



ENTRY ELEVATION

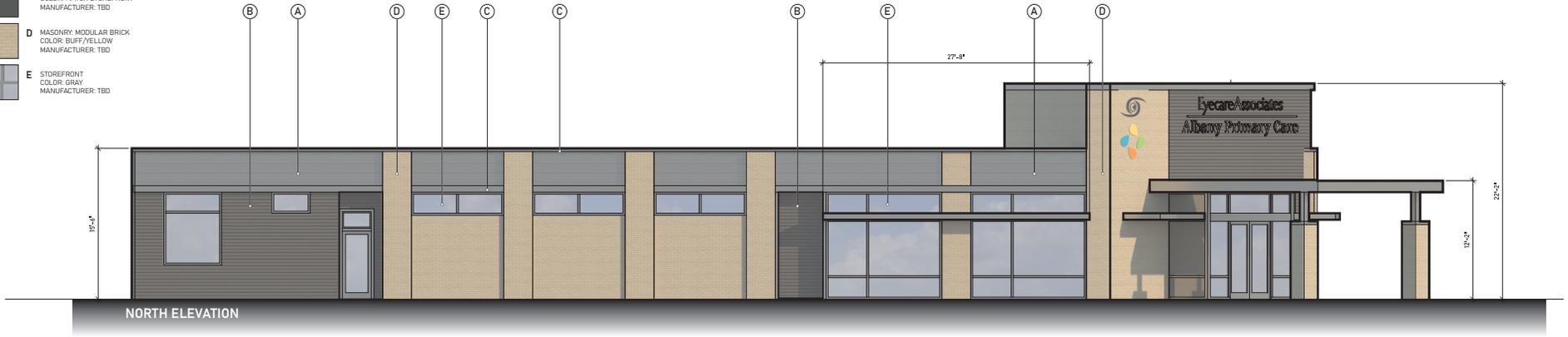


EAST ELEVATION

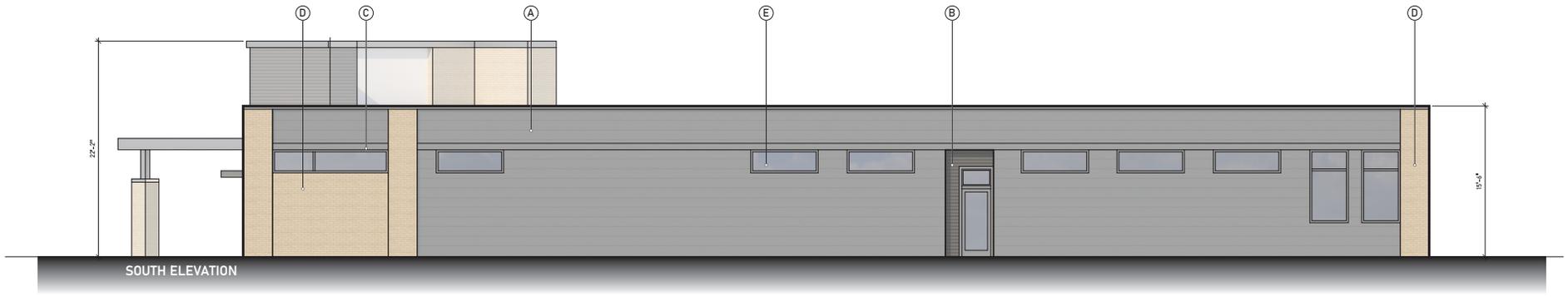


LEGEND

-  **A** SIDING: 12" FLUSH METAL PANEL
COLOR: GRAY
MANUFACTURER: TBD
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COLOR: BUFF/YELLOW
MANUFACTURER: TBD
-  **E** STOREFRONT
COLOR: GRAY
MANUFACTURER: TBD



NORTH ELEVATION



SOUTH ELEVATION





Olmstead, Liz

From: Scott Cassidy <Scott@ScottCassidy.com>
Sent: Thursday, August 3, 2023 12:08 PM
To: Olmstead, Liz
Cc: Thayer Alan J. Jr. (alan@thinkilg.com)
Subject: Eye Care Associates Site Plan Review

[WARNING! This email came from outside our organization. Do NOT click unknown attachments or links in email.]

Liz Olmstead
Community Development
City of Albany
Re: Eyecare Associates Albany Building, LLC Site Plan Review

Thanks for you for your time to speak with me the other day regarding the Eye Care Associates site plan review notice. This is our written response to the Notice of Filing. We find the filing to be deficient in its design to allow appropriate access to our water meters and shut off valves.

When we spoke on the phone I expressed my concerns that the current access to the canal at the southeast corner of the proposed Eye Care Associates site plan was to be moved. This is very troubling to us as this is the access which was required and provided by the city to access our water meters for reading and maintenance. This required access by the city Of Albany to our meters and shut off has been in place since before May of 2005 when we opened.

It is imperative for our facility that we have the most Direct Line access to our water shutoff. In the case of an emergency, time is a critical factor to minimize the costs of damage which a broken pipe or failed valve can cause. Our onsite staff as well as our maintenance, vendors and management team are trained to use this access point.

A man gate for access at the current SE corner double gate of the Proposed development will be acceptable as long as an additional vehicle access gate is provided somewhere along the rear property line for continued access for maintenance and review. We will also require to continue to be provided keys or a mechanism for accessing the canal road from both access points.

This is a long time access point as I mentioned which goes back to 2005 or before. We view this as a problem which must be solved. We will look to the city working to include provisions for Eyecare Associates to continue to honor our required access.

Please acknowledge receipt.

Take Care:

Scott Cassidy
Operating Manager
A Storage Place of Albany LLC
Scott@ScottCassidy.com
503-781-8373
CC:
Alan Thayer, Innovative Law Group

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