



COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | BUILDING & PLANNING 541-917-7550

Notice of Filing

Site Plan Review

SP-15-23

July 13, 2023

The Planning Division has received the following APPLICATION. Please provide any comments you may have on this project to **Liz Olmstead** at 541-917-7640 or liz.olmstead@cityofalbany.net. The deadline for submission of written comments is 5:00 p.m. on **July 27, 2023**.

Application Information

Proposal:	The application requests approval to construct a mobility hub on the existing circulating roadway at Linn-Benton Community College.
Review Body:	Staff (Type I-L review)
Property Owner/ Applicant:	Sheldon Flom, Linn Benton Community College, 6500 Pacific Blvd SW, Albany, OR 97321
Address/Location:	6500 Pacific Blvd SW, Albany, OR 97321
Map/Tax Lot:	Linn County Tax Assessor's Map No. 11S-04W-25 Tax Lot 1200
Zoning:	Residential Single-Dwelling Unit District (RS-6.5)
Overlay Districts:	Riparian Corridor Overlay (not in project area)
Total Land Area:	73.88 acres
Existing Land Use:	Institutional – Community College

The City of Albany has received the application for Site Plan Review as referenced above. We are mailing notice of the application to property owners within 100 feet of the proposed development. We invite your written comments on this application to be considered when staff decides on this application. Your comments must relate to the approval standards listed below. Issues that may provide the basis for an appeal to the Planning Commission must be raised in writing and with sufficient detail to allow the City to respond to the issue. The deadline for submission of written comments is 5:00 p.m. on **July 27, 2023**, 14 days from the date the City mails the notice of filing.

We have attached a location map, site plan, and elevation drawings. All application materials are available for review in person at the Planning Division, and copies can be obtained for a minimal charge. Should you wish to discuss this case with a planner, please call **Liz Olmstead**, project planner, at 541-917-7640. Submit any written comments to the Planning Division; PO Box 490, Albany, OR 97321 or by email to liz.olmstead@cityofalbany.net. Any person submitting written comments will receive a copy of the notice of decision on the application.

According to the Albany Development Code (ADC or Code), the proposed use is allowed on this property. This review is limited to the layout of the proposed use in accordance with the review criteria contained in ADC Section 2.450. The use must also meet applicable City development standards found in the Code.

These standards address such features as off-street parking, landscaping, setbacks, overlay districts, outside storage, and lighting.

The City may attach conditions of approval to the application to ensure that the proposal will conform to the applicable review criteria (ADC 2.450).

Approval Standards for This Request

Site Plan Review Criteria

Section 2.450 of the ADC includes the following review criteria that must be met for this application to be approved.

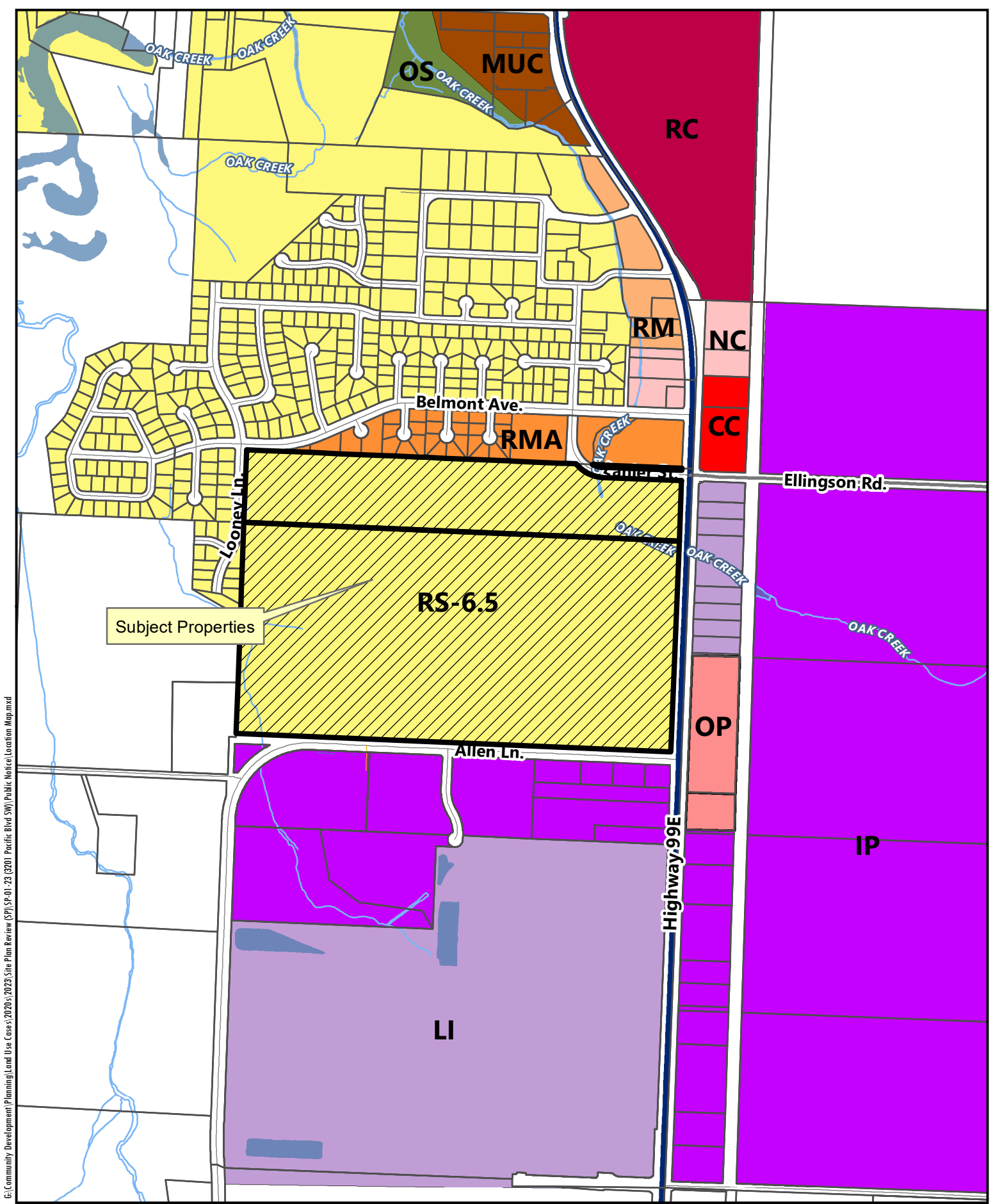
- (1) The application is complete in accordance with the applicable requirements.
- (2) The application complies with all applicable provisions of the underlying zoning district including, but not limited to, setbacks, lot dimensions, density, lot coverage, building height, and other applicable standards.
- (3) Activities and developments within special purpose districts comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.
- (4) The application complies with all applicable Design Standards of Article 8.
- (5) The application complies with all applicable Design Standards of Article 10.
- (6) The application complies with all applicable On-Site Development and Environmental Standards of Article 9.
- (7) The Public Works Director has determined that public facilities and utilities are available to serve the proposed development in accordance with Article 12 or will be made available at the time of development.
- (8) The Public Works Director has determined that transportation improvements are available to serve the proposed development in accordance with Article 12 or will be available at the time of development.
- (9) The proposed post-construction stormwater quality facilities (private and/or public) can accommodate the proposed development, consistent with Title 12 of the Albany Municipal Code.
- (10) The proposal meets all existing conditions of approval for the site or use, as required by prior land use decision(s), as applicable.
- (11) Sites that have lost their nonconforming status must be brought into compliance and may be brought into compliance incrementally in accordance with Section 2.370.

Section 2.455 of the ADC includes additional review criteria for non-residential development that must be met for this application to be approved.

- (1) The transportation system can safely and adequately accommodate the proposed development.
- (2) Parking areas and entrance-exit points are designed to facilitate traffic and pedestrian safety and avoid congestion.
- (3) The design and operating characteristics of the proposed development are reasonably compatible with surrounding development and land uses, and any negative impacts have been sufficiently minimized.

Additional review standards for this Site Plan Review application are found in ADC Articles 1, 2, 3, 6, 8, 9, and 12.

Attachments: Location Map, Site Plan, Elevations



G:\Community Development\Planning\Land Use Cases\2020s\2023\Site Plan Review (SP)\SP-01-23 (320) Pacific Blvd SW\Public Notice\Location Map.mxd



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 Feet

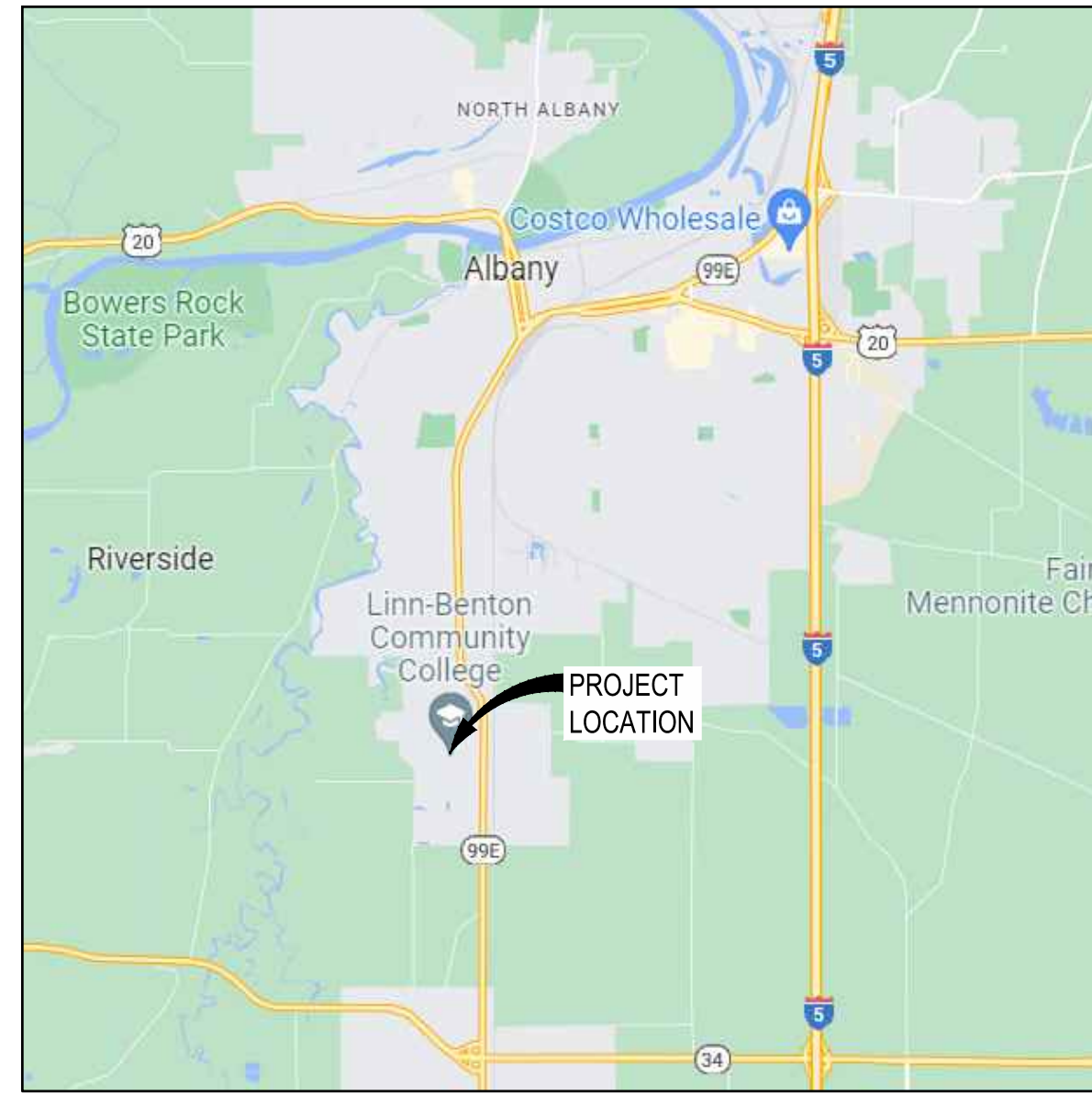
6500 Pacific Boulevard SW

Date: 6/27/2023 Map Source: City of Albany

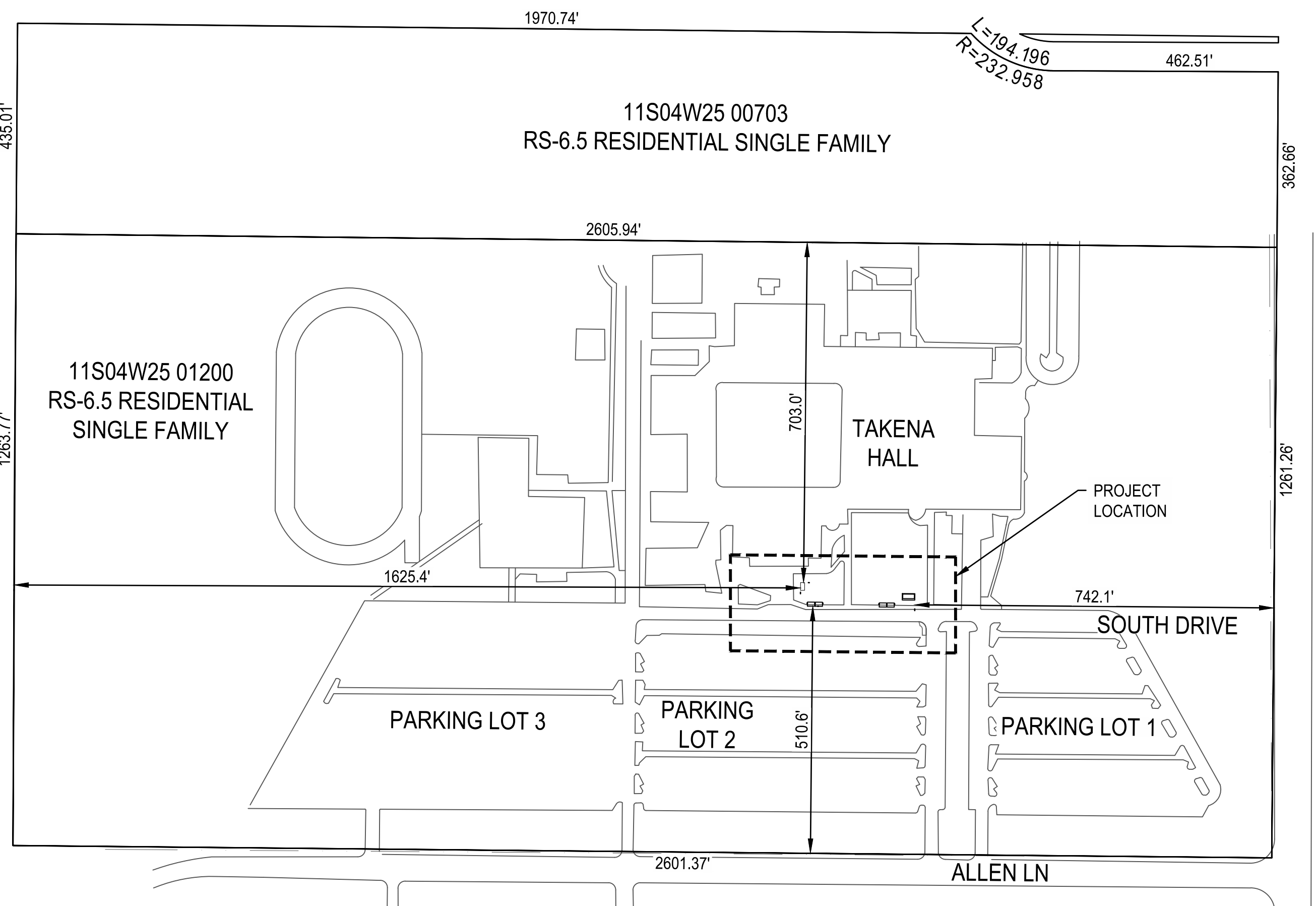
Location Map

LINN-BENTON COMMUNITY COLLEGE MOBILITY HUB

6500 PACIFIC BLVD SW, ALBANY, OR 97321



VICINITY MAP
N.T.S.



SITE MAP
N.T.S.

SHEET INDEX	
SHEET NUMBER	DESCRIPTION
G1.0	COVER
D1.0	DEMOLITION PLAN
EC1.0	EROSION CONTROL PLAN
C1.0	SITE PLAN
C2.0	DETAILS
C2.1	GRADING PLAN
C2.2	GRADING PLAN
C2.3	GRADING PLAN
U1.0	UTILITY PLAN
ST1.0	SIGNING AND STRIPING PLAN
A2.0	SHELTER PLAN SECTIONS/ELEVATIONS
A2.1	RESTROOM PLANS-ELEVATIONS
A2.2	RESTROOM SECTIONS & DETAILS
S1.00	GENERAL NOTES
S2.00	CANOPY PLAN
S2.10	RESTROOM PLAN
S3.00	FOUNDATION DETAILS
S4.00	MASONRY DETAILS
S5.00	CONNECTION DETAILS
P0.1	PLUMBING LEGEND
P0.2	PLUMBING CALCULATIONS
P1.1	PLUMBING ENLARGED PLANS
E0.1	ELECTRICAL LEGEND
E0.2	LUMINAIRE SCHEDULE & LIGHTING MATRIX
E1.1	ELECTRICAL SITE PLAN
E2.1	ELECTRICAL ENLARGED PLANS RESTROOM
E2.2	ELECTRICAL ENLARGED PLANS SHELTER
E3.1	ONE LINE DIAGRAM & PANEL SCHEDULE

AREAS WITHIN PROJECT AREA/SQUARE FEET		
AREA	EXISTING	PROPOSED
STRUCTURES (SHELTER/WALKWAY CANOPY, FUTURE MICROMOBILITY SHELTER)	N/A	1,038 SF
SIDEWALK	157,206 SF	5,650 SF
ASPHALT (DRIVE AISLES)	772,778 SF	814 SF
LANDSCAPING/GRASS	1,960,502 SF	2,233 SF
STORMWATER SWALES	N/A	0 SF
NEW/REPLACED IMPERVIOUS	N/A	7,076 SF
TOTAL	2,890,486 SF (TOTAL TAXLOT)	20,543 SF (PROJECT EXTENTS)

PROJECT CONTACTS:

CIVIL ENGINEER:
PARAMETRIX
CONTACT: SETH RANKIN, PE
(541) 508-7605
SRANKIN@PARAMETRIX.COM

ARCHITECT:
CONTACT: WATERLEAF
JON STYNER AIA, LEED AP BD+C
(503) 228-7571
JONS@WATERLEAF.COM

STRUCTURAL ENGINEER:
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CONTACT: JAKE LINKE, PE
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JWLINK@PARAMETRIX.COM

MECHANICAL/ELECTRICAL ENGINEER:
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BRUCE.JESSUP@COLEBREIT.COM

PLUMBING ENGINEER:
COLEBREIT/AXIOM
CONTACT: MICHAEL LEAVITT
(541) 236-0466
MICHAEL.LEAVITT@COLEBREIT.COM

PLANNING:
URBAN LENS PLANNING
CONTACT: ROBIN SCHOLETZKY, AICP, LEED AP ND
(971) 706-8720
ROBIN@URBANLENSPANNING.NET

OWNER/APPLICANT:
LINN-BENTON COMMUNITY COLLEGE
CONTACT: KEVIN NICHOLSON
(541) 917-4337
NICHOLK@LINNBENTON.EDU

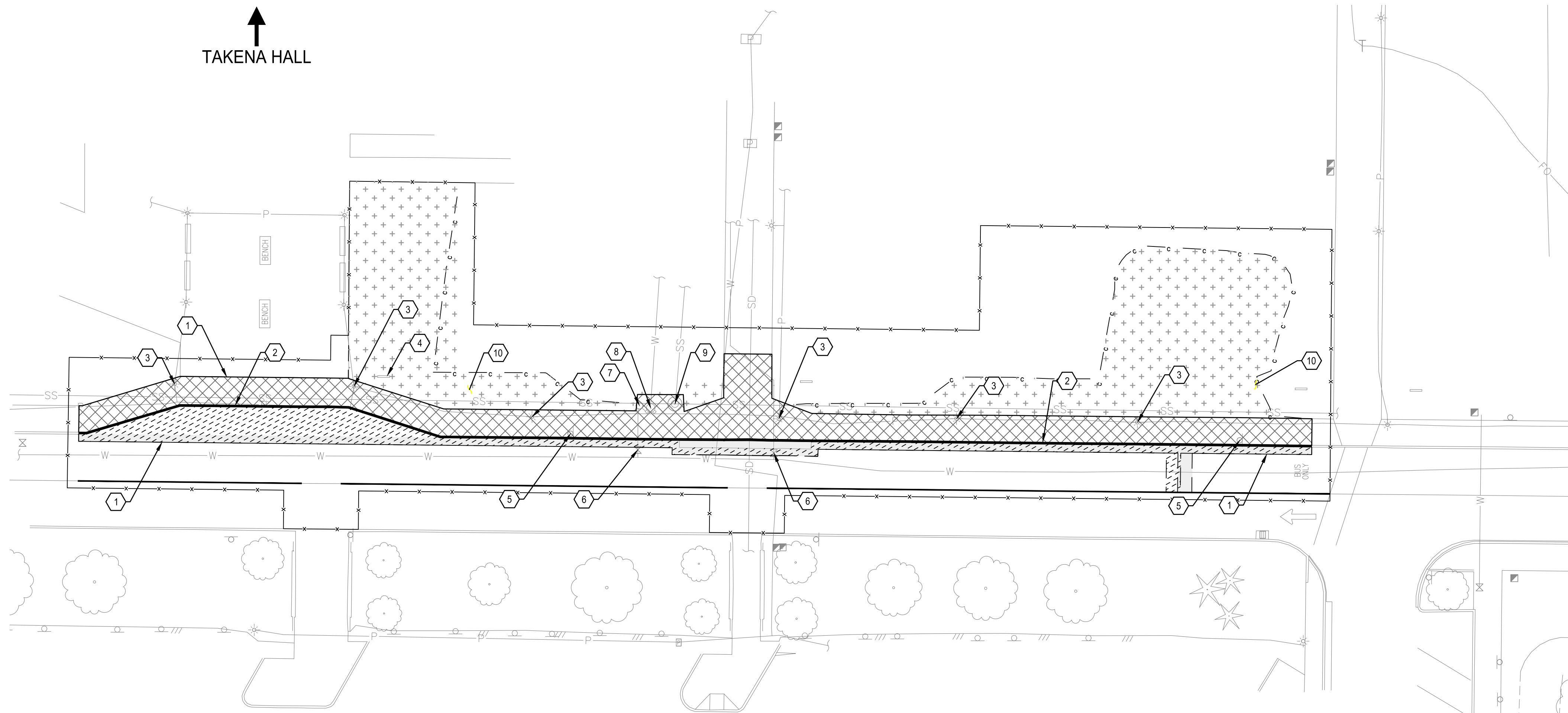


Know what's below.
Call before you dig.

60% DESIGN



LINN-BENTON COMMUNITY COLLEGE	
MOBILITY HUB	
COVER	
CITY OF ALBANY	
DATE: 05/12/2023 PROJECT NO.:	
DESIGNED BY: KE/SR/CL	
DRAFTED BY: CL/SR	
CHECKED BY: RWR	
NO. DATE:	1. 2. 3.
REVISIONS	
Sheet No. G1.0	



GENERAL NOTES:

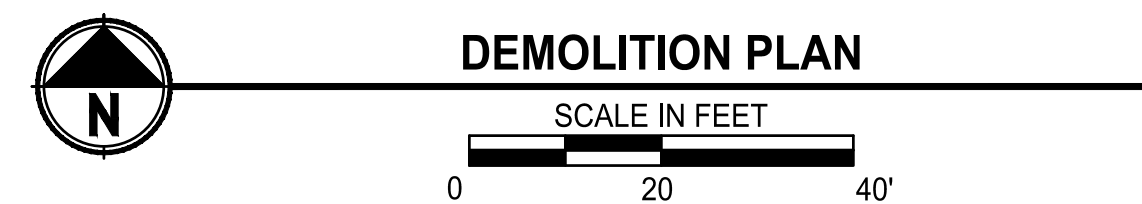
1. REMOVAL OF EXTG. SURFACES INCLUDING ASPHALT, CONCRETE, SIDEWALKS AND CURBS ARE INCLUDED IN THE GENERAL EXCAVATION QUANTITY.
2. ALL CONCRETE CURBS AND SIDEWALK IDENTIFIED FOR REMOVAL SHALL BE REMOVED TO THE CLOSEST CONTROL JOINT, UNLESS OTHERWISE NOTED IN THESE PLANS.
3. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES, INFRASTRUCTURE, AND IMPROVEMENTS IN PLACE. ANY DAMAGE TO EXISTING FACILITIES OR IMPROVEMENTS, RESULTING FROM THE CONTRACTOR'S OPERATION, SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.

DEMOLITION NOTES:

- 1 SAWCUT EXTG. ASPHALT AND CONCRETE SURFACES
- 2 SAWCUT, REMOVE AND DISPOSE OF EXTG. CONCRETE CURB
- 3 REMOVE AND SALVAGE EXTG. LIGHTED BOLLARDS
- 4 REMOVE AND PRESERVE EXTG. BUILDING DIRECTORY FOR REINSTALLATION
- 5 SEE SIGNING AND STRIPING PLAN (SHEET ST1.0) FOR RELOCATION AND REMOVAL OF EXTG. SIGNAGE
- 6 PROTECT EXTG. VALVE AND VALVE BOX IN PLACE
- 7 PROTECT EXTG. HYDRANT ASSEMBLY IN PLACE. SEE SHEETS C2.2 AND U1.0 FOR ADJUSTMENT INFORMATION
- 8 PROTECT EXTG. FIRE DEPARTMENT CONNECTION IN PLACE. SEE SHEETS C2.2 AND U1.0 FOR ADJUSTMENT INFORMATION
- 9 PROTECT EXTG. SANITARY SEWER MANHOLE IN PLACE. SEE SHEETS C2.2 AND U1.0 FOR ADJUSTMENT INFORMATION
- 10 EXTG. IRRIGATION SYSTEM NOT SURVEYED. REMOVE CONFLICTING IRRIGATION SPRINKLER HEADS AND UNDERGROUND IRRIGATION PIPING. CONTRACTOR TO COORDINATE WITH LBCC MAINTENANCE STAFF TO EXTEND COVERAGE AND REPAIR IRRIGATION SYSTEM TO FULLY OPERATIONAL CONDITION

LEGEND:

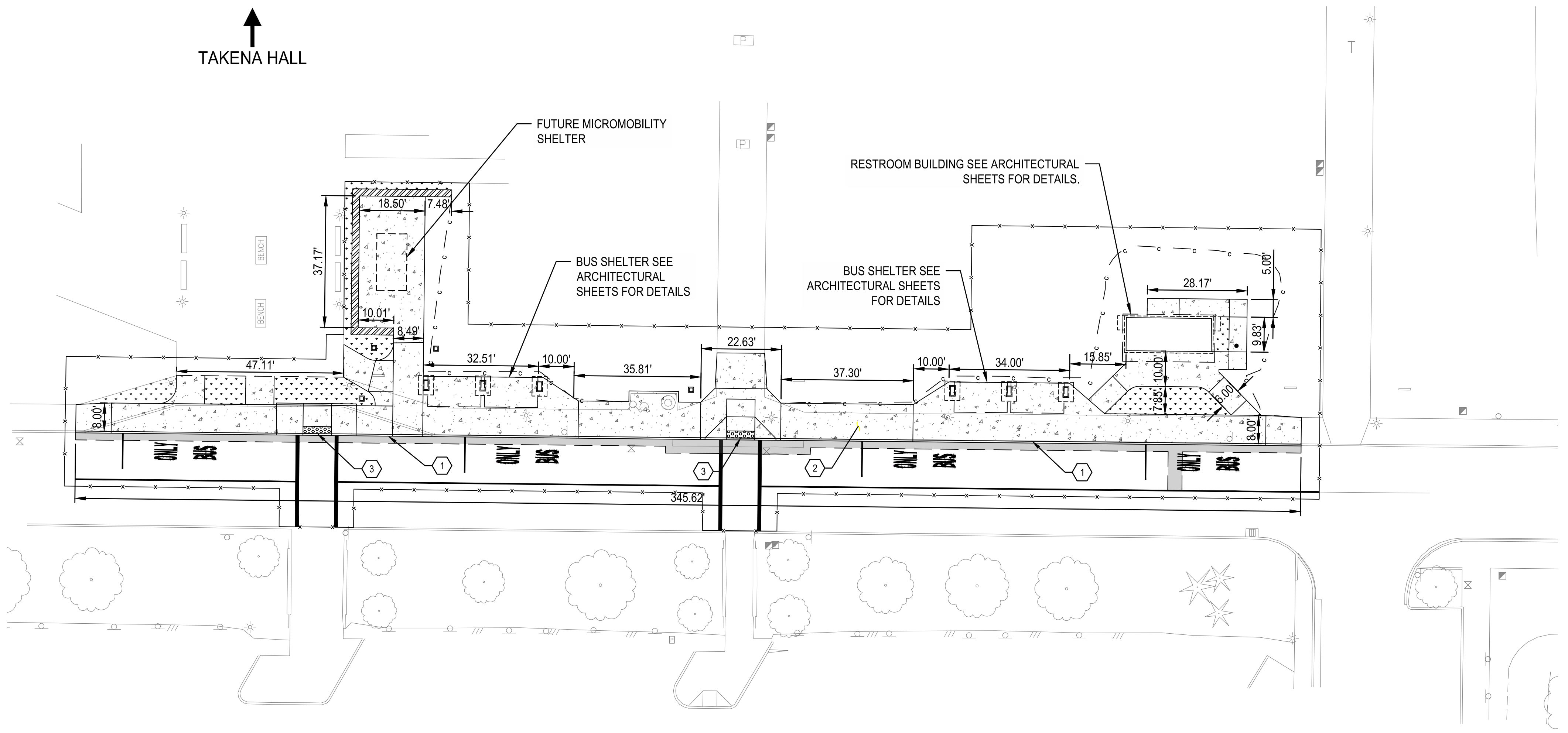
- EXTG. DECIDUOUS TREE
- EXTG. JUNIPER OR CEDAR TREE
- CLEARING & GRUBBING
- REMOVE EXTG. ASPHALT, BASE MATERIAL AND OTHER CLASSIFIED MATERIAL TO SUBGRADE
- REMOVE EXTG. CONCRETE, BASE MATERIAL AND OTHER UNCLASSIFIED MATERIAL TO SUBGRADE
- REMOVE EXTG. CURB
- PROJECT WORKING EXTENTS
- CUT SLOPE
- ASPHALT SAWCUT



60% DESIGN

DESIGNED BY: KE/SR/LC
DRAFTED BY: CL/SR
CHECKED BY: RWR

REVISIONS	
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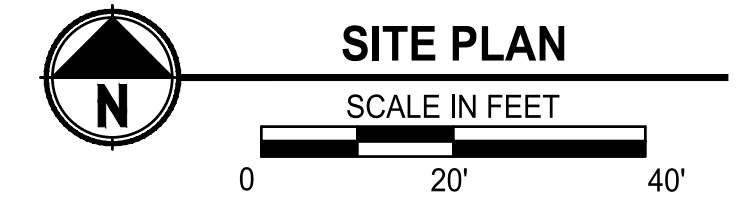
↑
TAKENA HALL

- GENERAL NOTES:**
1. SEE GRADING AND DRAINAGE SHEETS FOR GRADING INFORMATION AND ADDITIONAL DETAILS
 2. SEE SHEET ST1.0 FOR SIGNING AND STRIPING DETAILS

- CONSTRUCTION NOTES:**
- ① CONSTRUCT STRAIGHT CURB PER DETAIL 2 ON SHEET C2.0
 - ② CONSTRUCT CONCRETE SIDEWALK PER DETAIL 4 ON SHEET C2.0
 - ③ CONSTRUCT CURB RAMP (SEE SHEETS C2.1-C2.3 FOR GRADING DETAILS) (FOR TRUNCATED DOME DETAILS, SEE ODOT STD. DWG. RD759)

LEGEND:

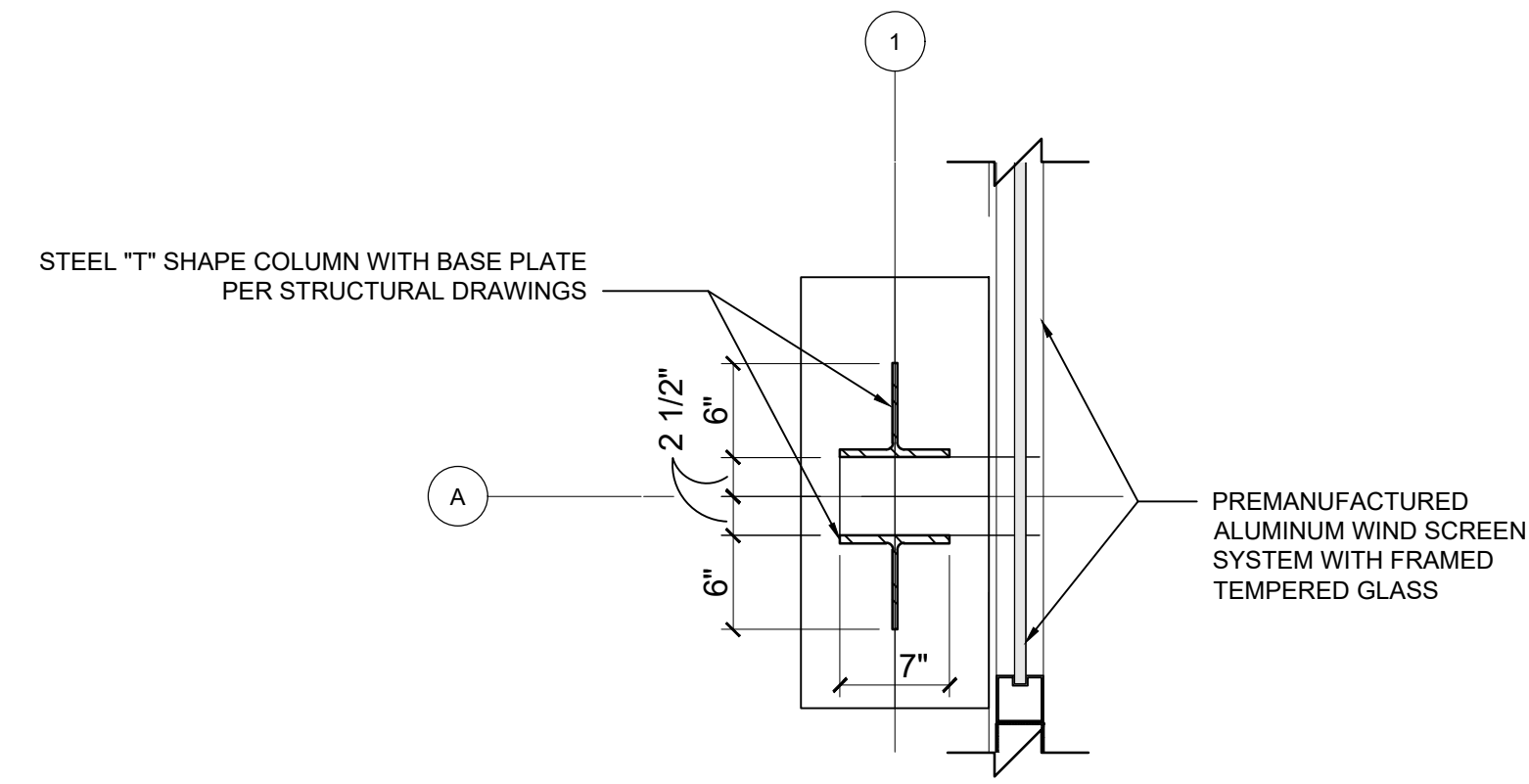
.....	FILL SLOPE
---C---	CUT SLOPE
---X---	PROJECT WORKING EXTENTS
---	FACE/BACK OF CURB
---	EDGE OF CONCRETE WALK
---	ASPHALT SAWCUT
.....	IRRIGATED LANDSCAPING AREA (SEE LANDSCAPING PLAN TO BE PROVIDED WITH 90% SUBMITTAL)
.....	CONCRETE SIDEWALK
.....	ASPHALT PAVING (SEE SHEET C2.0 FOR DETAILS)
.....	SEAT WALL. SEE ARCHITECTURAL PLANS FOR DETAILS (TO BE PROVIDED WITH 90% SUBMITTAL)
.....	AREA DRAIN - SEE GRADING PLANS FOR DETAILS



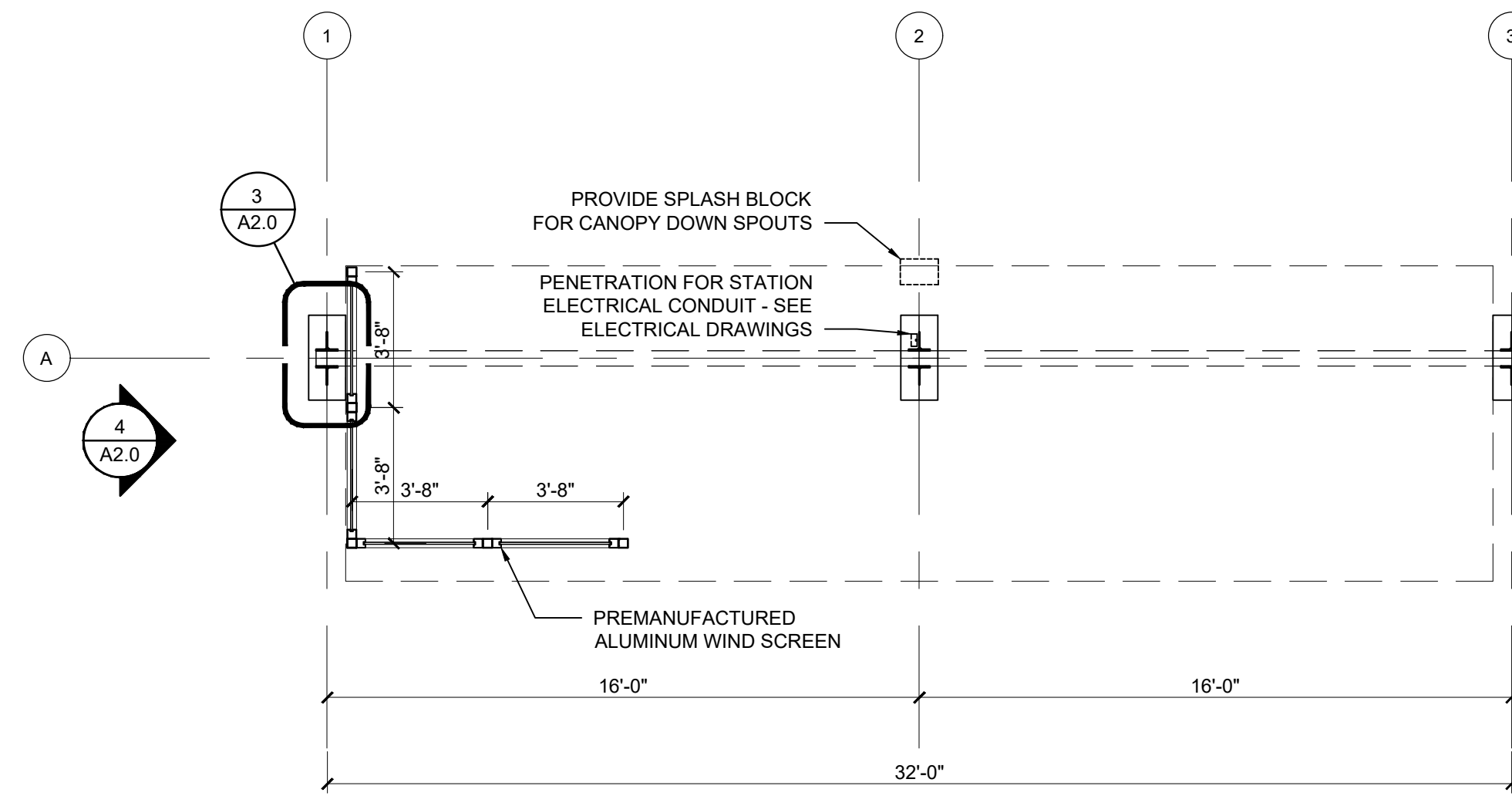
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DRAFTED BY:	CL/SR
CHECKED BY:	RWR

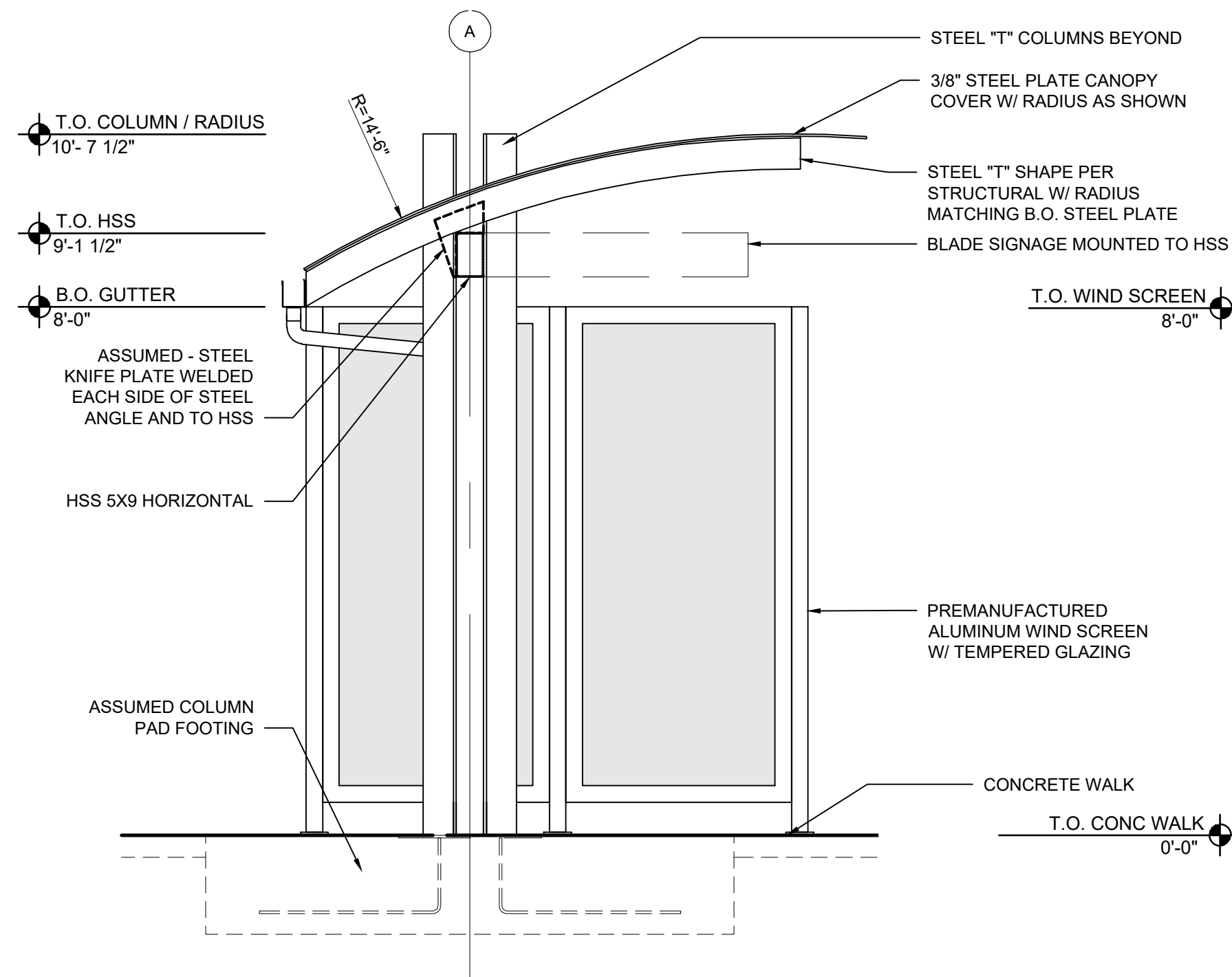
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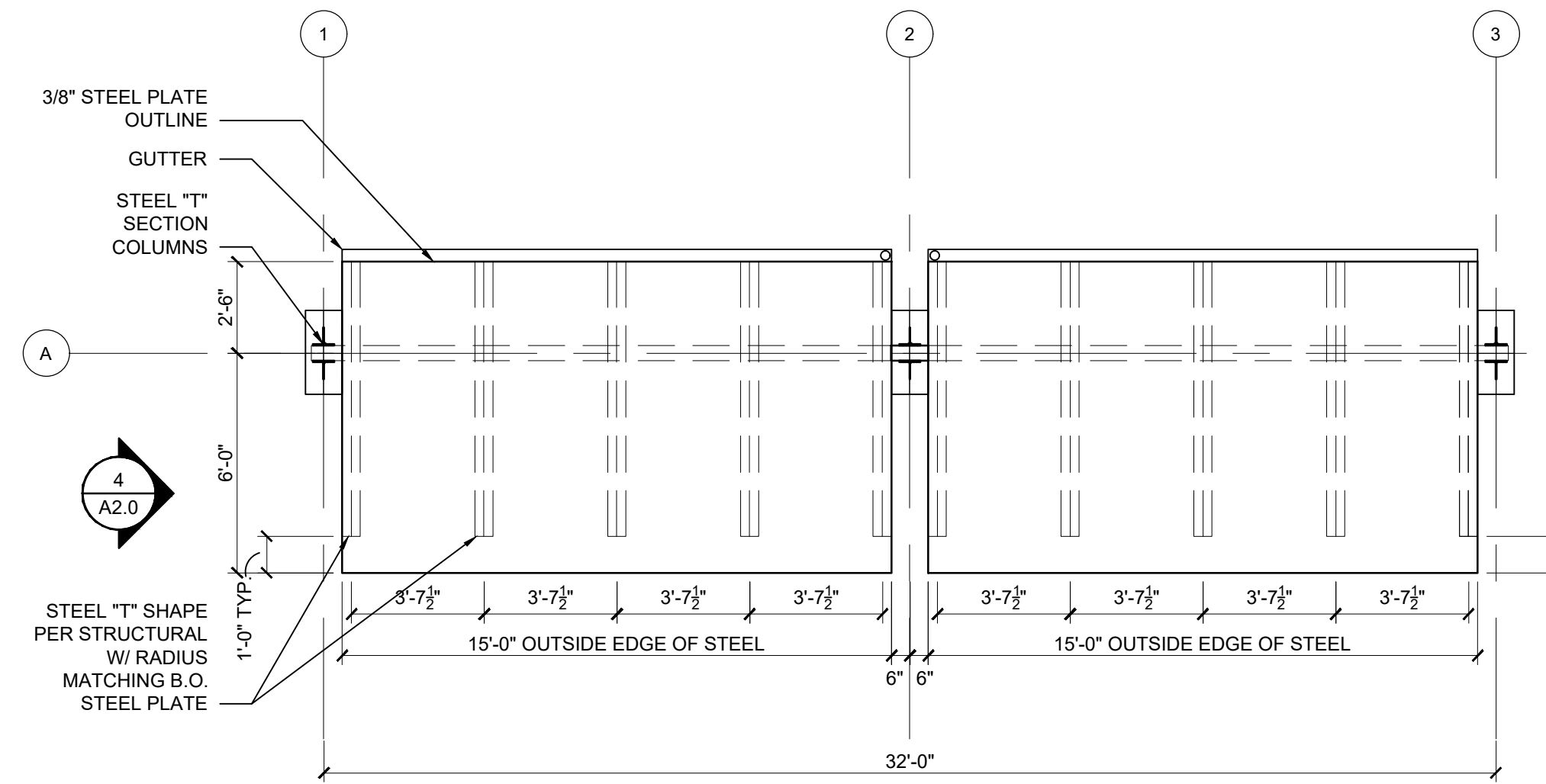
3 COLUMN BASE
A2.0 SCALE: 1"=1'-0"



1 SHELTER PLAN
A2.0 SCALE: 1/4"=1'-0"



4 ELEVATION
A2.0 SCALE: 1/2"=1'-0"



2 SHELTER ROOF PLAN
A2.0 SCALE: 1/4"=1'-0"

DESIGNED BY:	EK	DRAFTED BY:	MS	CHECKED BY:	JS
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REVISIONS

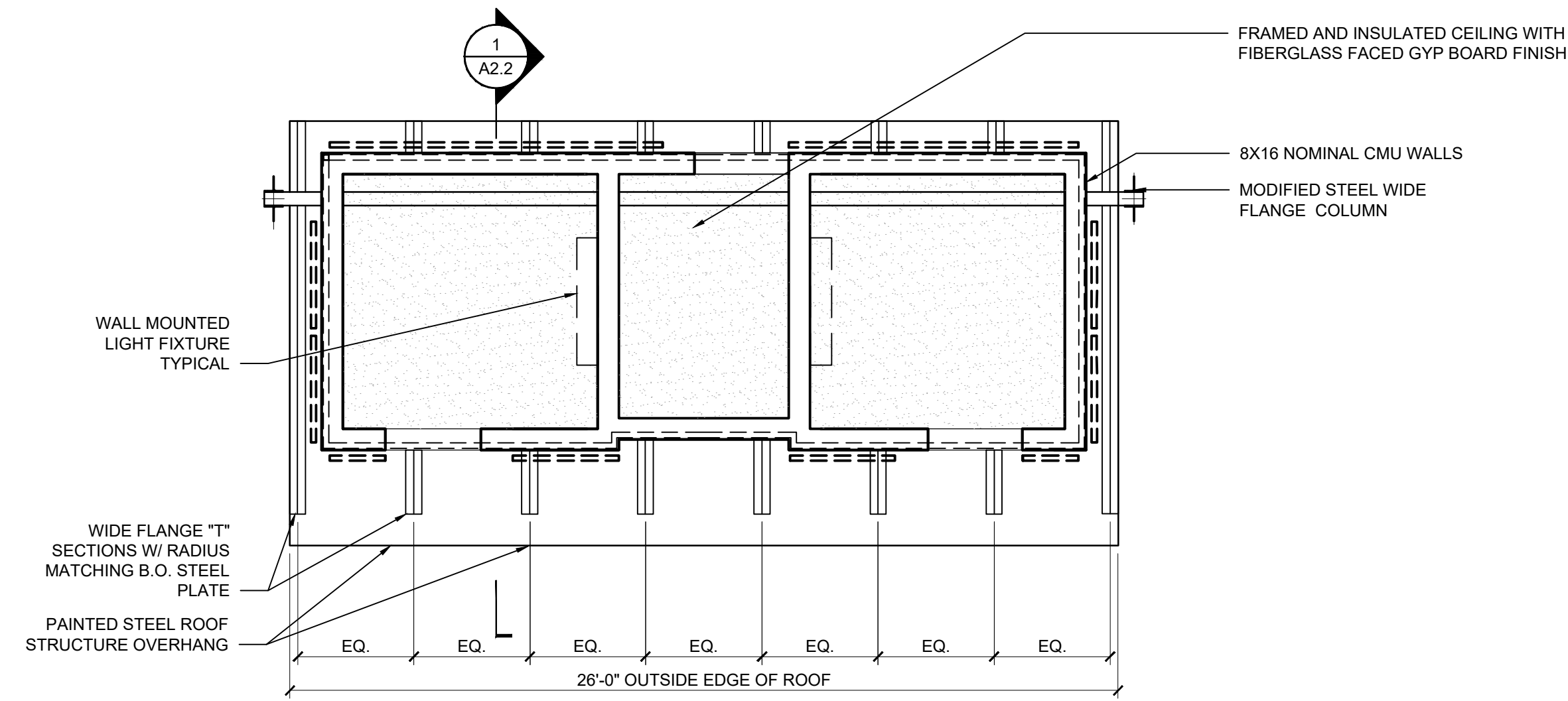
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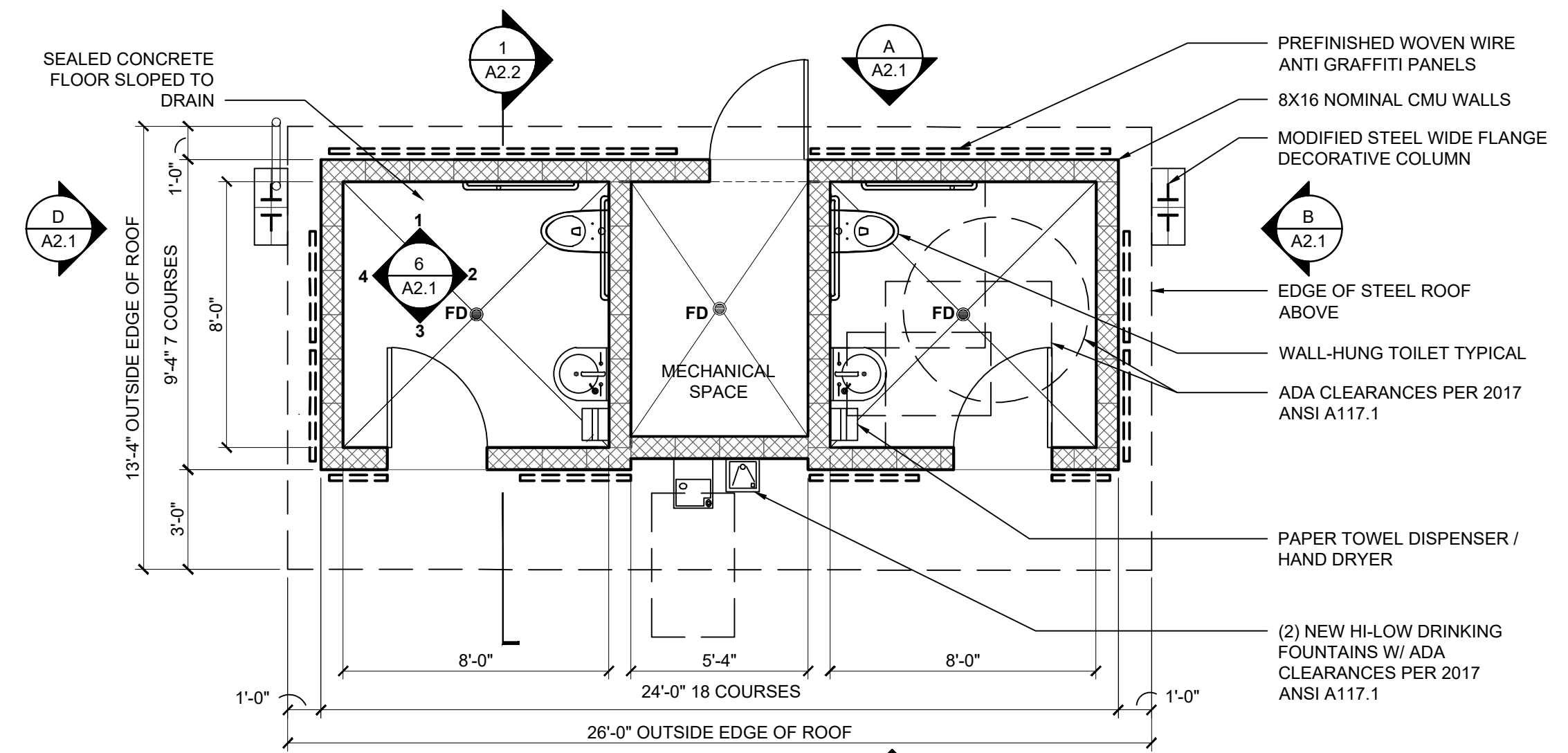
waterleaf



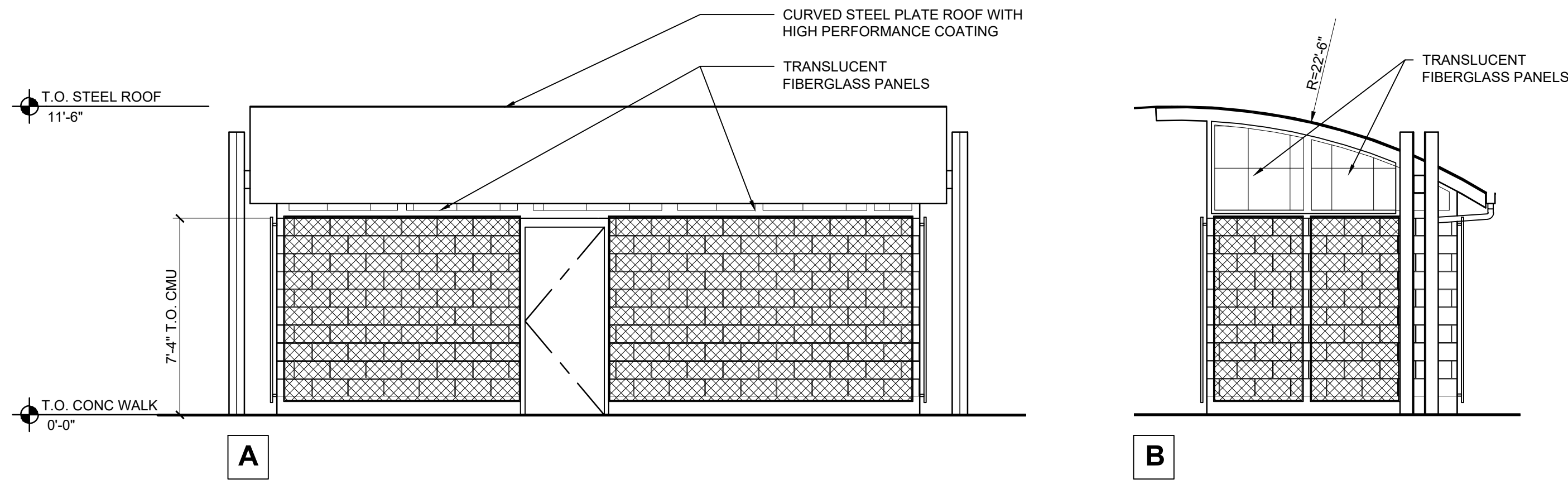
architecture, interiors & planning



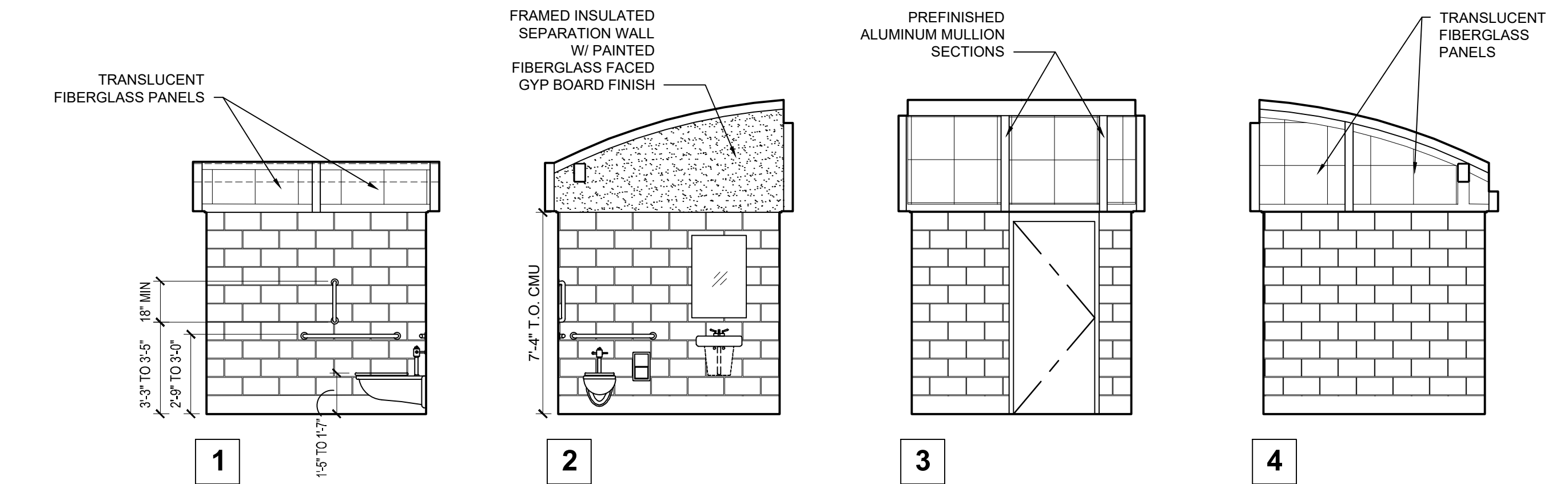
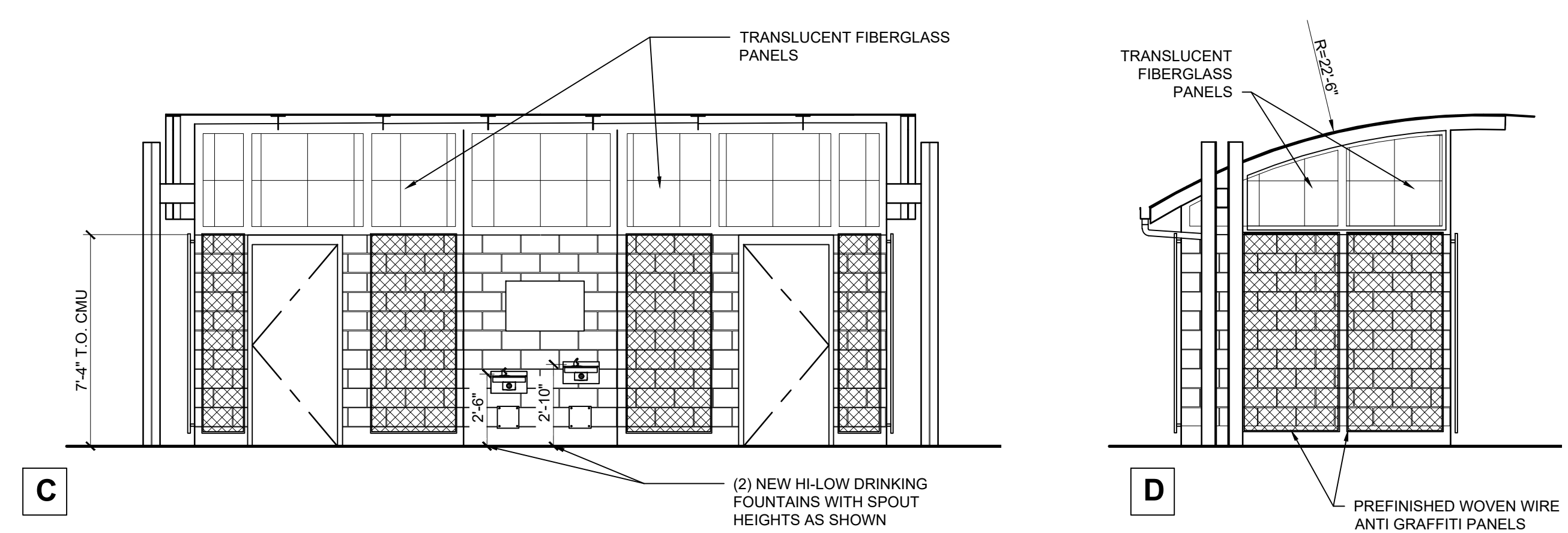
1 RESTROOM REFLECTED CEILING PLAN
 SCALE: 1/4"=1'-0"



2 RESTROOM PLAN
 SCALE: 1/4"=1'-0"

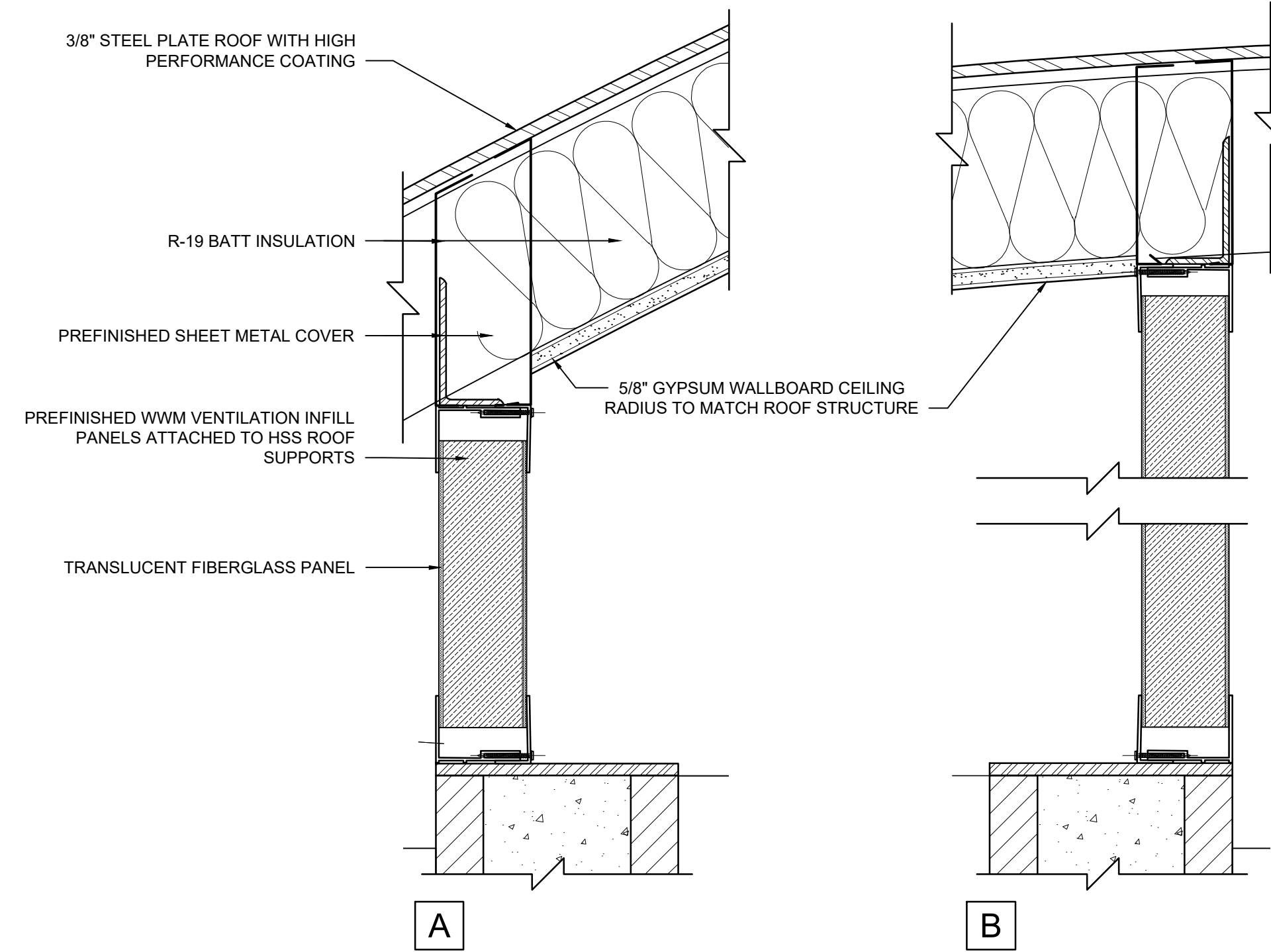


3 RESTROOM ENCLOSURE - EXTERIOR ELEVATIONS
 SCALE: 1/4"=1'-0"

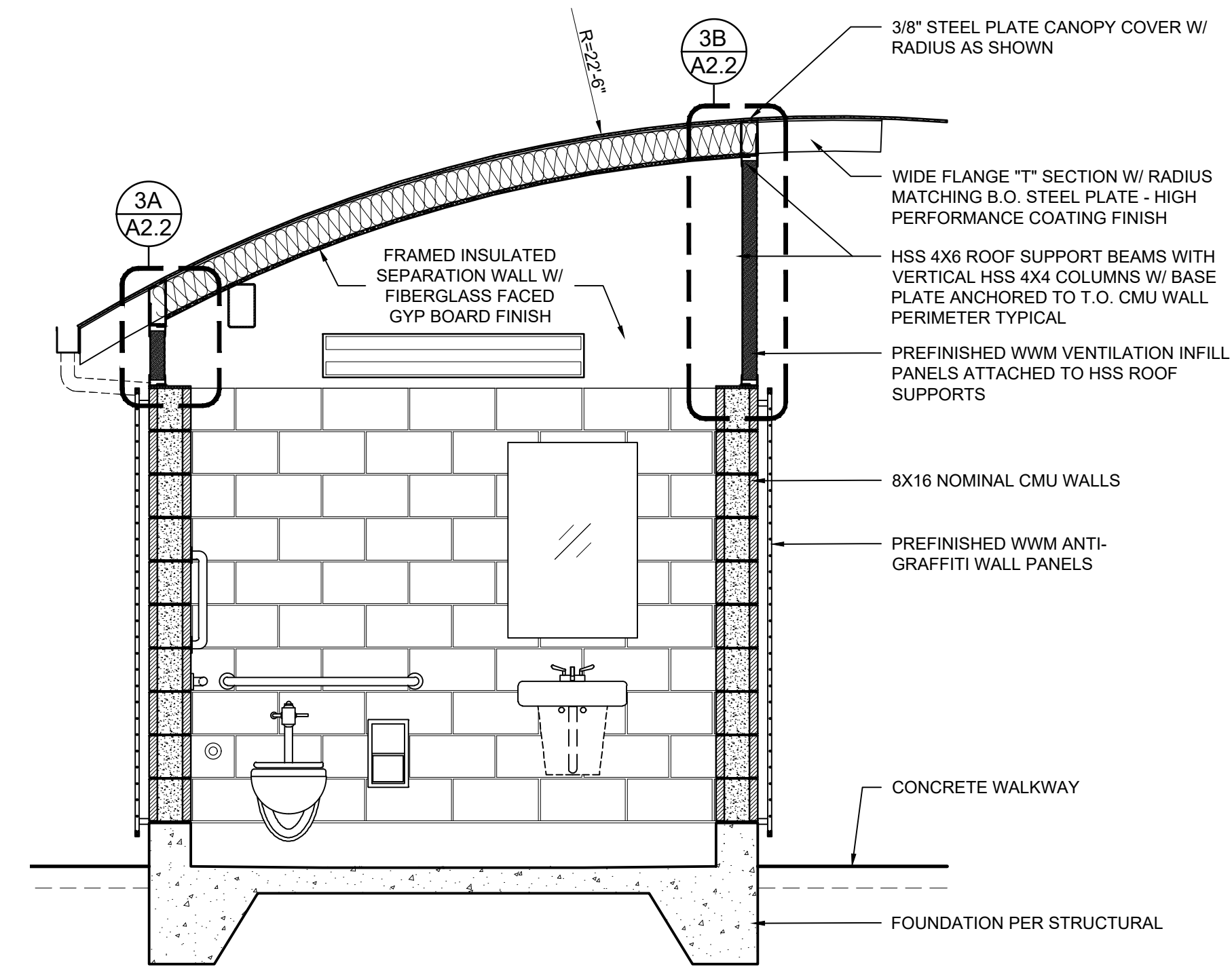


6 TYPICAL RESTROOM INTERIOR ELEVATIONS
 SCALE: 1/4"=1'-0"

DESIGNED BY	DRAFTED BY	CHECKED BY
EK	MS	JS
REVISIONS		
NO.	DATE:	



3
A2.2 VENT GRILL DETAILS
SCALE: 3/4"=1'-0"



1
A2.2 RESTROOM SECTION
SCALE: 1/2"=1'-0"

LINN-BENTON COMMUNITY COLLEGE
MOBILITY HUB
ARCHITECTURAL RESTROOM SECTIONS AND DETAILS
CITY OF ALBANY
DATE: May 08, 2023 PROJECT NO.:

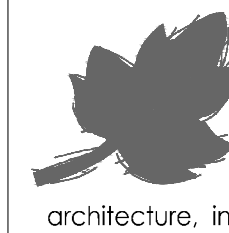
CITY OF ALBANY
DEPARTMENT OF COMMUNITY SERVICES
TRANSPORTATION DIVISION
333 BROADALEIN ST SW, ALBANY, OR 97321

DESIGNED BY: EK
DRAFTED BY: MS
CHECKED BY: JS

NO.	DATE	REVISIONS

Sheet No. **A2.2**

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architecture, interiors & planning