



COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | Planning & Building 541-917-7550

September 12, 2023

Top Odeep LLC
Attn: Lonny George
33010 Fircreek Lane
Philomath, OR 97370

Dear Lonny George,

Re: City of Albany Historic Review Application (File No. HI-16-23)
Property Address: 964 Ferry Street SW
Linn County Assessor's Map No. 11S-03W-07BC-04000

The Community Development Director **APPROVED** the application for Historic Review of Exterior Alterations (HI-16-23) for exterior alterations to an existing outbuilding to convert it into an Accessory Dwelling Unit (ADU). The City based its decision on the project's conformance with the review criteria listed in the Albany Development Code (ADC). The following findings are in support of the decision to approve this application. For more information or questions, please contact Alyssa Schrems, project planner.

REVIEW CRITERIA (ADC 7.120)

The Director will approve residential alteration requests if one of the following criteria is met:

- a. There is no change in historic character, appearance, or material composition from the existing structure.*
- b. The proposed alteration materially duplicates the affected exterior building features as determined from an early photograph, original building plans, or other evidence of original building features.*
- c. The proposed alteration is not visible from the street.*

FINDINGS OF FACT

1. The residential structure located at 964 Ferry Street SW is identified as Historic Contributing in the Hackleman National Register District. The subject property is approximately 7,370 square feet in size and is located on the west side of Ferry Street SW. The property is within the Hackleman Monteith (HM) zoning district (Attachment A). Per the Albany Historic Resource Survey, the house was constructed circa 1900 in the Craftsman style. Identified features include square pillars, a gable dormer on the east side, rectangle bays on the north and south sides, knee braces, exposed rafters, and transom windows.
2. The applicant proposes modify the existing outbuilding to convert it into an ADU. The applicant proposes to add two additional exterior wooden doors, one on the north wall and one on the west wall. The applicant also proposes two double hung wood windows on the west side and two double hung wood windows on the west wall. The applicant states that only the east wall of the structure is visible from Ferry Street, so all alterations will not be visible from the street.
3. Application materials include written findings and a site plan showing the proposed alterations (Attachments C and D).

CONCLUSION

1. Only one of the review criteria in ADC 7.120(1) must be met for the proposed alterations to be approved.
2. The proposed changes are not visible from the street.
3. This application satisfies the review criteria for a director-level decision based on compliance with ADC 7.120(1) and is approved with the following conditions.

CONDITIONS

- Condition 1* The proposed work will not deviate from the approved plan.
- Condition 2* All work shall be completed in accordance with the applicable building code requirements. Building permits may be required, please reach out to Building Inspection at 541-917-7550 for further assistance.
- Condition 3* A final historic inspection is required to verify that the work has been done according to this application. Please call the historic planner (541-791-0176) a day or two in advance to schedule.

Sincerely,

Signature on file

Alyssa Schrems, Planner II

541-791-0176

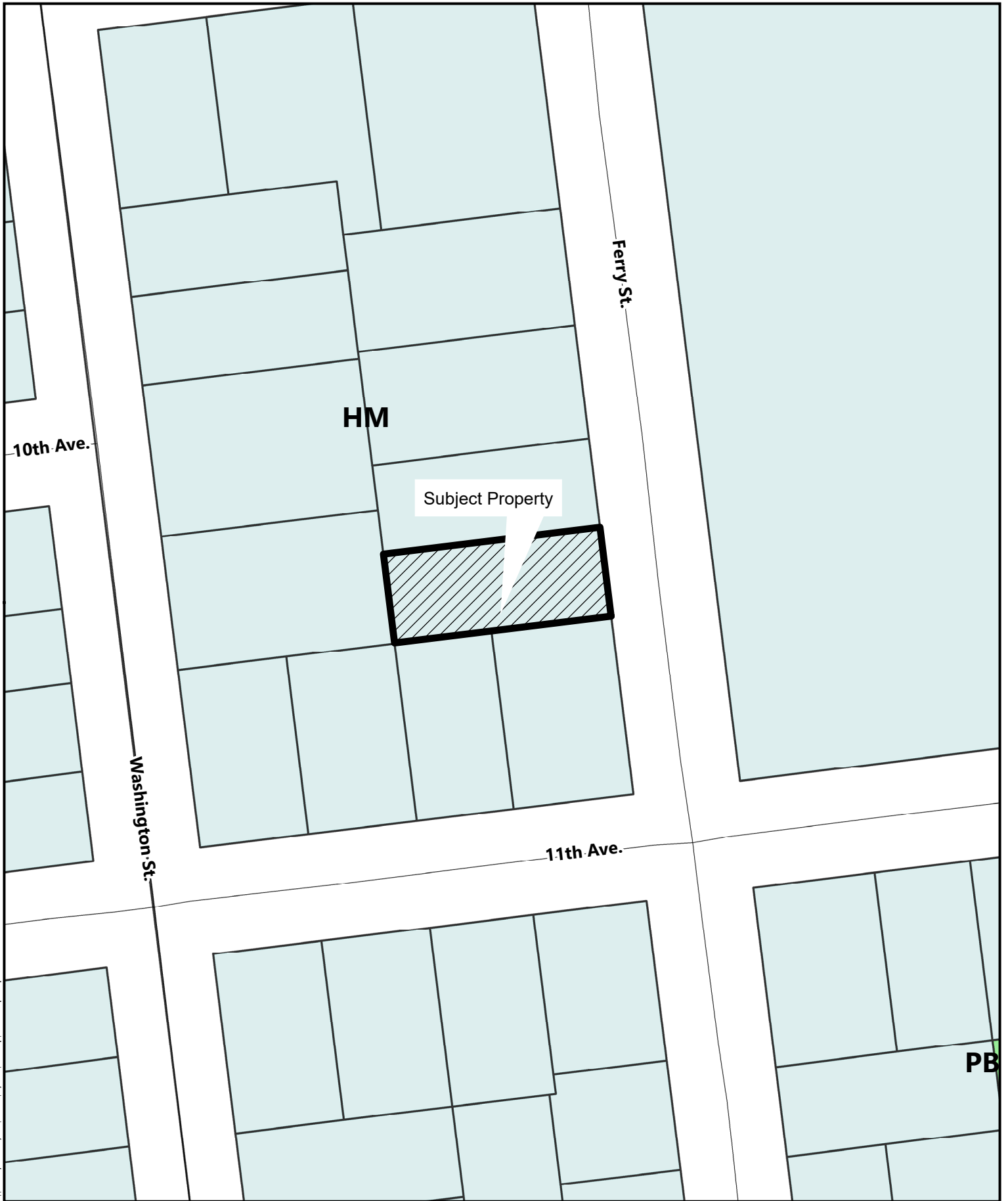
alyssa.schrems@cityofalbany.net

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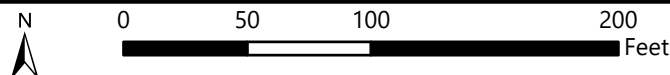
Attachments

- A – Location Map
- B – Albany Historic Resource Survey
- C – Submitted Application
- D – Conversion Plan

c: Johnathan Balkema, Building Official Manager (via email)
File: HI-16-23



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964 Ferry St SW

OREGON INVENTORY OF HISTORIC PROPERTIES
HISTORIC RESOURCE SURVEY - ALBANY
HISTORIC DISTRICT

Attachment B.1

COUNTY: Linn

HISTORIC NAME: None	ORIGINAL USE: Residence
COMMON NAME: None	CURRENT USE: Residence
ADDRESS: 964 Ferry St. SW	CONDITION: Good
ADDITIONAL ADDRESS: NONE	INTEGRITY: Good MOVED? N
CITY: Albany	DATE OF CONSTRUCTION: c.1900
OWNER: Wallace & Gale Stuart	THEME 20th Century Architecture
CATAGORY: Building	STYLE: Craftsman
LOCATION Monteith Historic District	ARCHITECT UNKNOWN
MAP NO: 11S03W07BC TAX LOT: 04000	BUILDER: UNKNOWN
BLOCK: 91 LOT N/A	QUADRANGLE Albany ASSESSMENT: N
ADDITION NAME: Monteith Southern Addition	ORIGINAL RATING: Compatible
PIN NO: 11S03W07BC04000 ZONING HM	CURRENT RATING: Historic Contributing

PLAN TYPE/SHAPE: Rectangle	NO. OF STORIES: 2
FOUNDATION MAT.: Concrete	BASEMENT Y
ROOF FORM/MAT.: Hipped	PORCH: Hipped

STRUCTURAL FRAMING: Balloon

PRIMARY WINDOW TYPE: 1/1 double hung

EXTERIOR SURFACING MATERIALS: Drop siding

DECORATIVE FEATURES:

Square pillars, gable dormer (E), rectangle bay N&S, knee braces, exposed rafters, Transom windows (E)

EXTERIOR ALTERATIONS/ADDITIONS:

Porch step railing

NOTEWORTHY LANDSCAPE FEATURES:

None

ADDITIONAL INFO:

None

INTERIOR FEATURES:

None

LOCAL INVENTORY NO.: M.306

SHPO INVENTORY NO.: None

CASE FILE NUMBER: None

**OREGON INVENTORY OF HISTORIC PROPERTIES
HISTORIC RESOURCE SURVEY -ALBANY
MONTEITH HISTORIC DISTRICT -PAGE TWO**

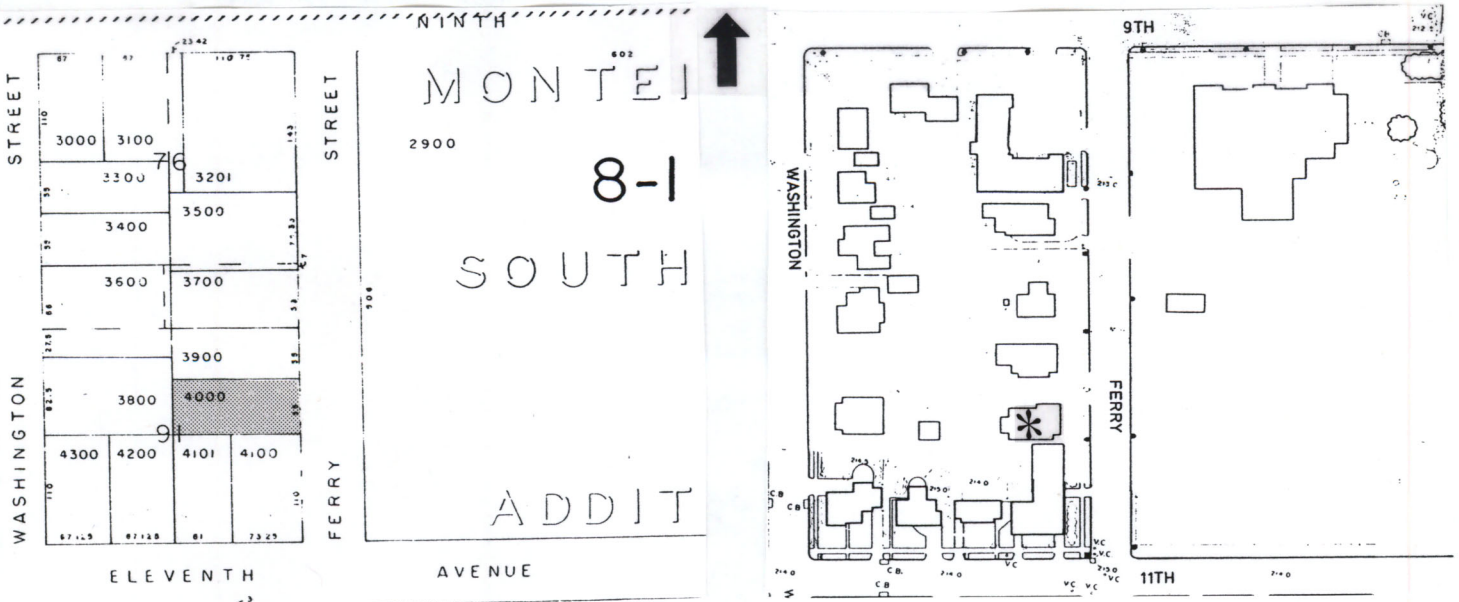
NAME: Wallace & Gale Stuart
ADDRESS: 964 Ferry Ave. S.W.
QUADRANGLE: Albany

T/R/S: T11-R3W-S07
MAP NO.: 11-3W-7BC
TAX LOT: 4000



NEGATIVE NO.: U-30

SLIDE NO.: MS.306



GRAPHIC & PHOTO SOURCES: Albany Community Development Planning Division & Tanya Neel.

Enter Option: I

Parcel No: 11S03W-07-BC-04000

Account No: 0092870

Status: A Active

Retired(Y/N): N

Street Address: 964 Dir: SW St: FERRY STREET

City:

Situs Location: 964 FERRY STREET SW

Legal Desc:

Acres: .00

X-COORD:

Y-COORD:

Tax Rate Area: 470

Assr Use Code: 1011 Assessed/Exempt: A

Pub Owned(Y/N): N

Primary Owner: STUART JR, WALLACE C

Phone:

Mailing Addr: STUART, A GALE

964 FERRY ST SW

ALBANY, OR

Zip: 973212433

Contract Owner: Percent/Ownership: .00

*** Press any key to continue ***

331. 964 Ferry Street SW
Significance: Compatible
Use: Residence

Wallace Lake Struett

Present Owner: ~~James A. Stom~~
964 Ferry Street SW
Tax Lot: 11-3W-7BC-4000

Description:

One story, wood frame residence with hip roof and exposed rafters. Gabled dormer on upper level with drop siding; porch with hip roof with four large pillars supported on wood baluster.

G. Thomas Hockensmith and is wife Delpha c. 1911
964 Ferry

Attachment B.5

Mr. Hockensmith was a sales at S.E. Young and Son.

Note: gabled dormer
square pillars
open eaves

Wonderful Historic Home

Attachment B.6
A Real Must See!

PRICE REDUCED



964 Ferry Street SW ~ Albany

\$217,000



Bonny Burks

Broker

Co-Listed with
Michelle Mills

Broker

Direct ~ 541-990-0725

E-Mail ~ bjburks1@qwest.net

Take a Step Back In Time With This Wonderful Home

3 Bedrooms ~ 2 1/2 Baths ~ Plus 2 Bonus Rooms

2962 Sq. Ft. ~ Built in 1907

10' Ceiling ~ Original Oak Floor in Living Room & Dining Room

Formal Dining Room offers Buffet with Glass Doors

Large Breakfast Room ~ Huge Pantry

Large Family Room offers Window Seat & Fireplace with Gas Insert

Oak Floor under Carpet in Family Room ~ Pine Floor upstairs

Main Bath with Claw Foot Tub, Pedestal Sink & Wainscoting

Gas Forced Air Heating ~ Inside Utility ~ Deck is 8 Years Old

Basement Offers Full Kitchen ~ Dining ~ Living ~ Single Bedroom

Bath ~ Great Set Up for Dual living

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11/04

964 Ferry
N. face R
u-29



964 Ferry
S. face L
u-31





COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | BUILDING & PLANNING 541-917-7550

Historic Review of Exterior Alterations

Checklist and Review Criteria

INFORMATION AND INSTRUCTIONS:

- See fee schedule for filing fee (*subject to change every July 1*): staff will contact you for payment after submittal.
- All plans and drawings must be to scale, and review criteria responses should be provided as specified in this checklist.
- Email all materials to cd@cityofalbany.net. Please call 541-917-7550 if you need assistance.
- Depending on the complexity of the project, paper copies of the application may be required.
- Before submitting your application, please check the following list to verify you are not missing essential information. An incomplete application will delay the review process.

HISTORIC REVIEW OF EXTERIOR ALTERATIONS SUBMITTAL CHECKLIST:

PLANNING APPLICATION FORM WITH AUTHORIZING SIGNATURES.

PROPERTY AND PROJECT INFORMATION.

Submit the following information (separately or on this page):

1. Historic District:

- Monteith Hackleman Downtown Local Historic Commercial/Airport

2. Historic rating:

- Historic Contributing Historic Non-Contributing Non-Historic (post 1945)

3. Year Built: 1911 Architectural Style(s): _____

4. Years of exterior alterations, if any: unknown

5. Please describe the proposed alteration(s) and the purpose of the alterations: addition of windows + doors to exterior to facilitate conversion of detached garage to livable space

PHOTOGRAPHS. Provide photographs that show the current condition of the area you intend to alter.

CONSTRUCTION PLANS/ELEVATION DRAWINGS. Provide construction plans, architectural drawings or schematics showing detailed building elevations and exterior plans, and dimensions of all altered or new elements, including foundation, windows, and the setbacks to the property lines, materials proposed, profile/design, etc. If construction plans or drawings are not applicable to your project, then submit an accurate alteration description, including photographs, or other information that describes the project.



964 SW Ferry St Garage Conversion

1. Criterion: The proposed alteration is not visible from the street.

Fact: The east wall of the garage is the only wall visible from the street since the south wall is blocked from view by the house on the property and the north wall is blocked by the neighboring house to the north. The west wall is on the opposite end of the garage from Ferry street and is also blocked from view by the structures on Washington St.

Conclusion: No alterations will be made to the east wall which is the only wall visible from the street.

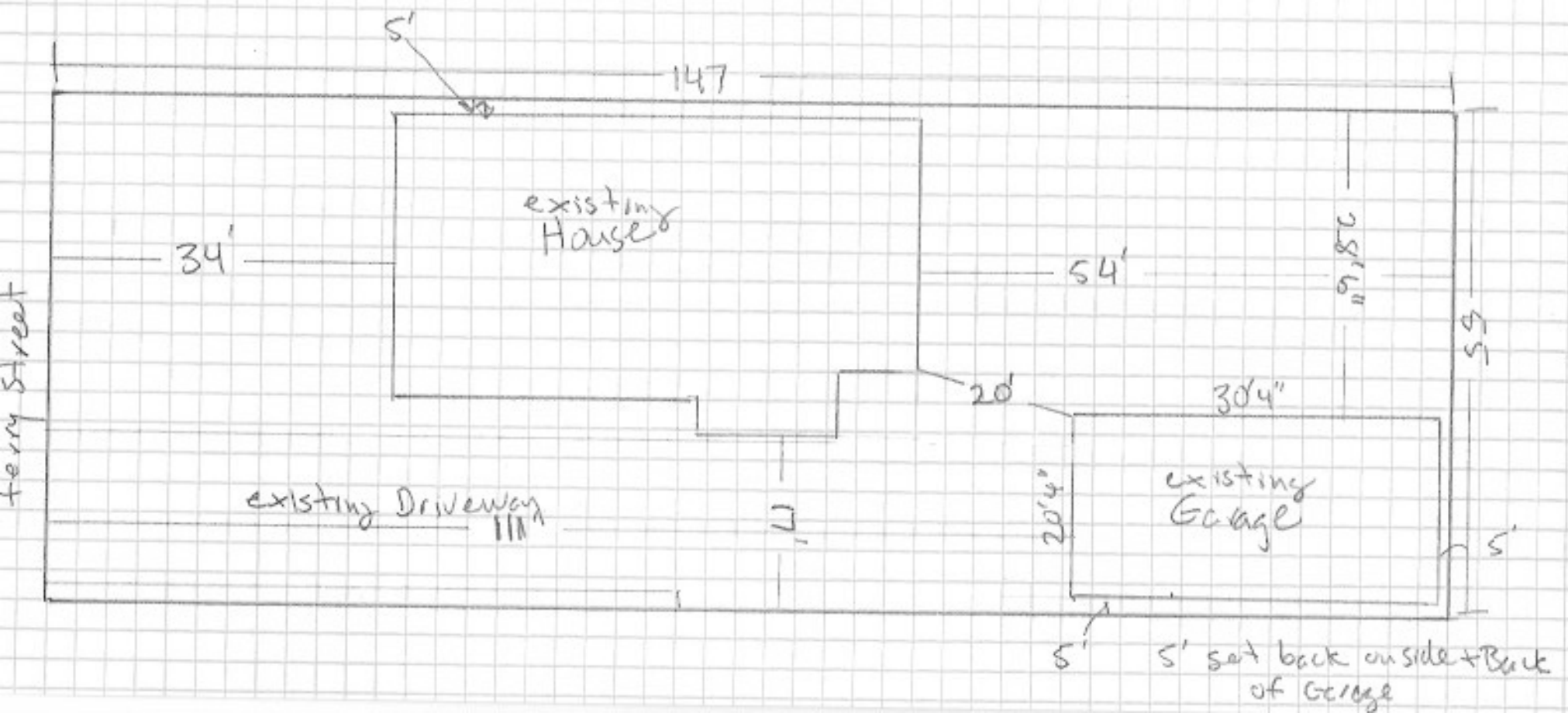
2. Criterion: The proposed alteration is compatible with the historic characteristics of the area and with the existing structures in massing, size, scale, materials, and architectural features.

Fact: Original doors on the house are wood and/or wood with lites and original opening windows are double hung wood.

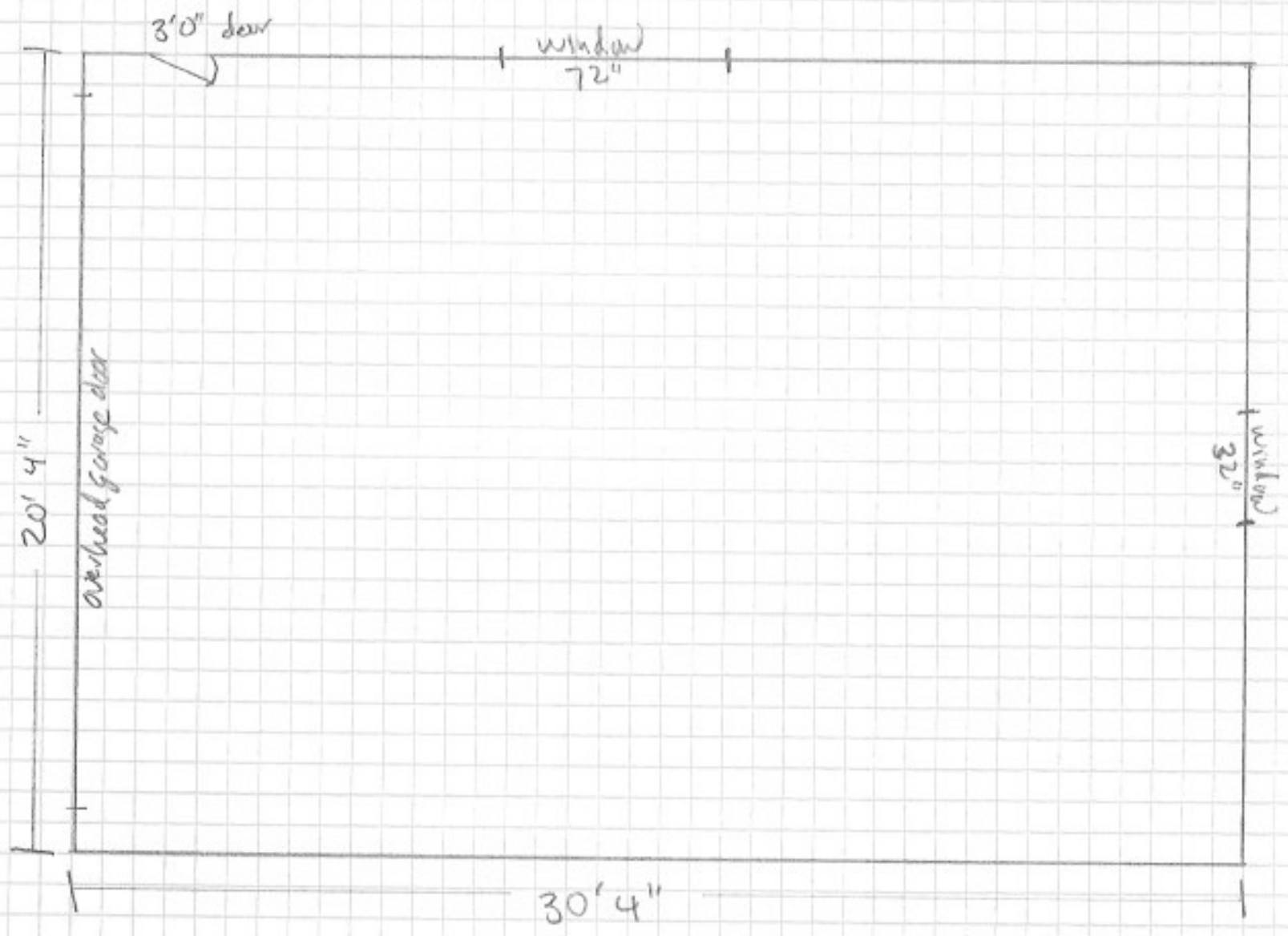
This application proposes adding 2 additional exterior wood doors, one on the north wall and one on the west wall. Also proposed is the addition of 4 new double hung wood windows, 2 on the north wall and 2 on the west wall.

Conclusion: Addition of new doors and windows will match the approximate look of the house with its original doors and windows

964 SW Ferry St. Site plan



964 SW Ferry existing detached garage floor plan

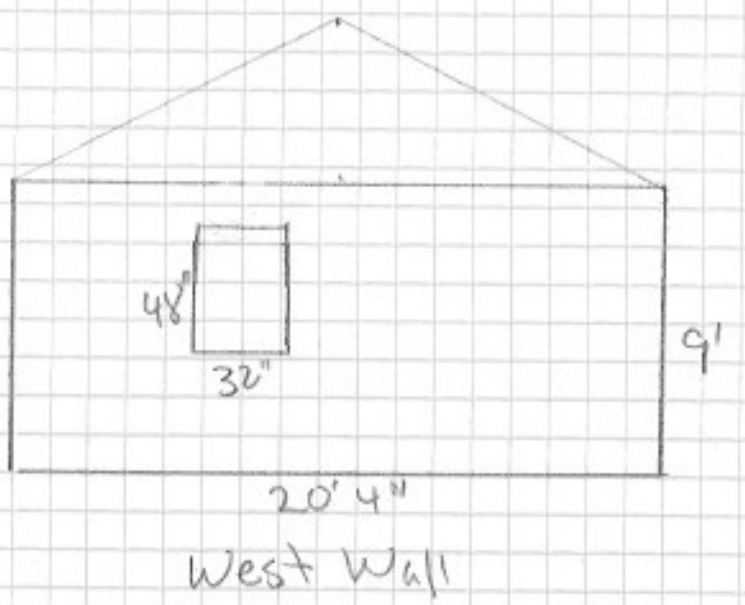
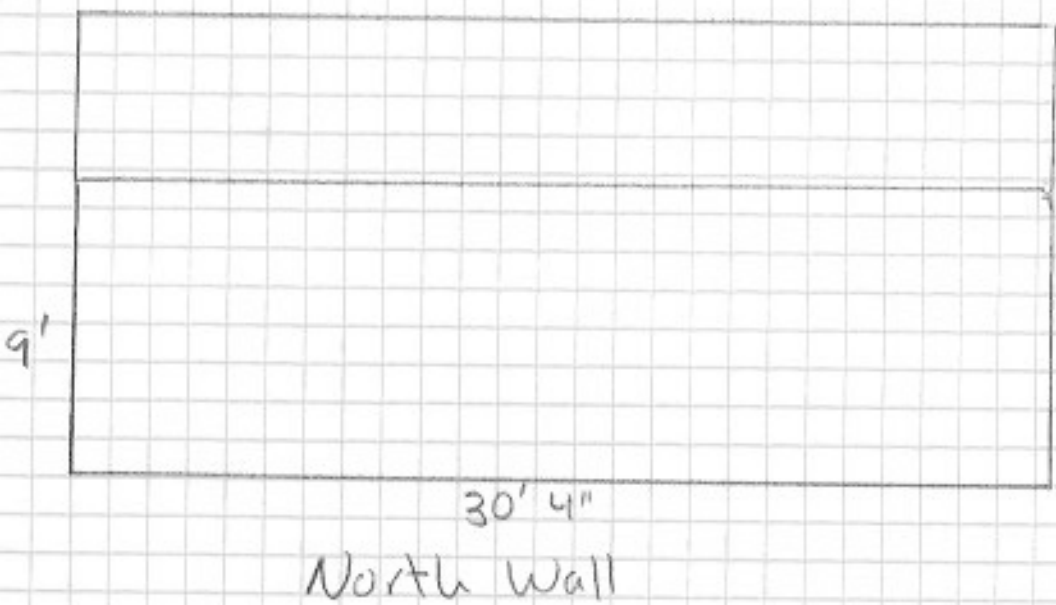
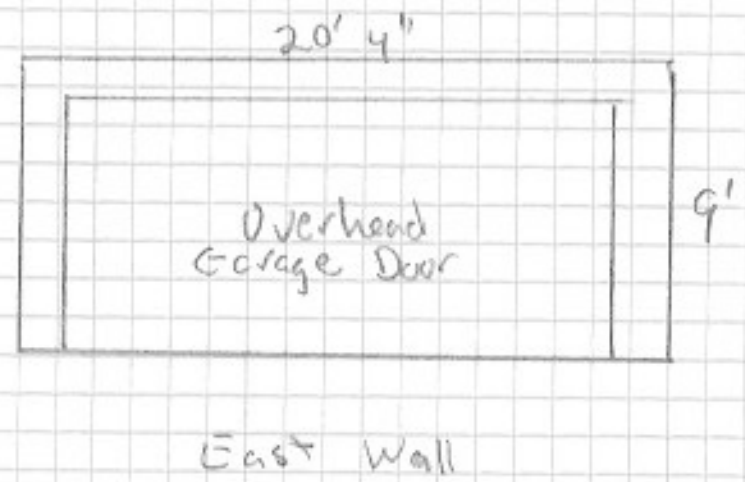
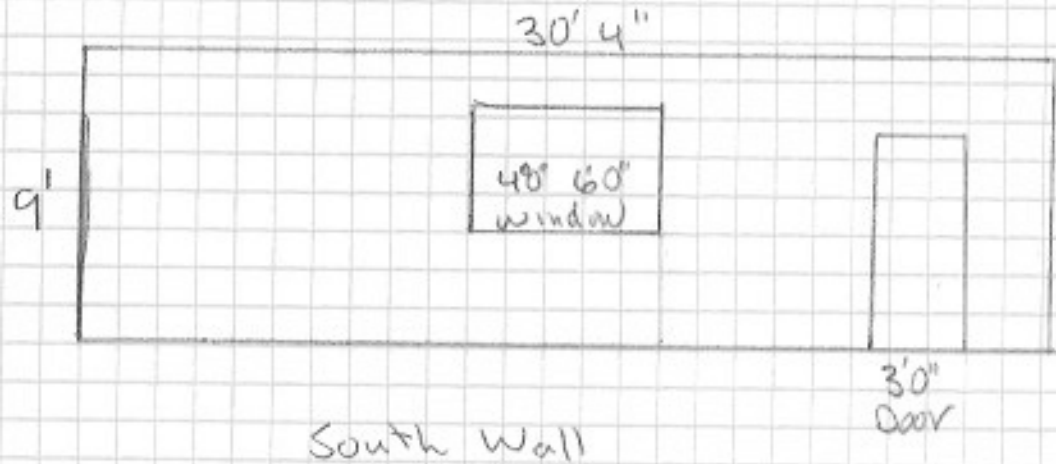


964 SW Ferry St.

Existing Elevations

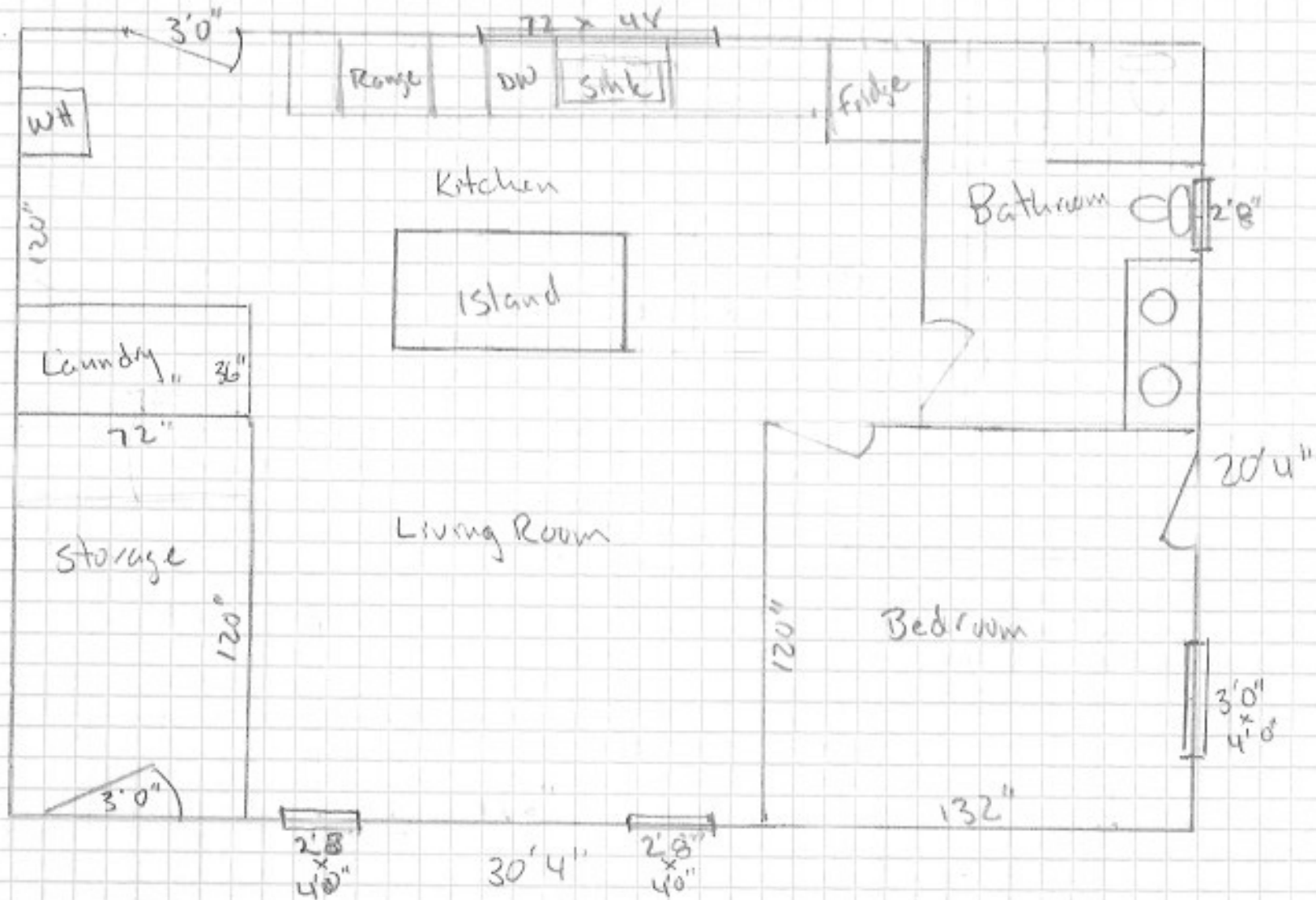


Permit Number:
BLD-0341-23
Attachment D.3



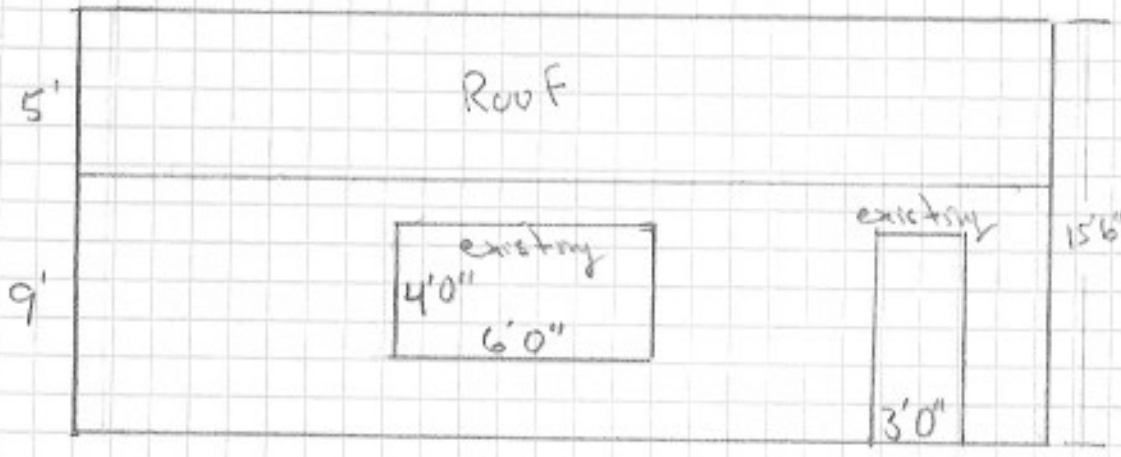
964 SW Ferry Proposed ADU Floor Plan in existing garage Attachment D.4

Permit Number:
BLD-0341-23

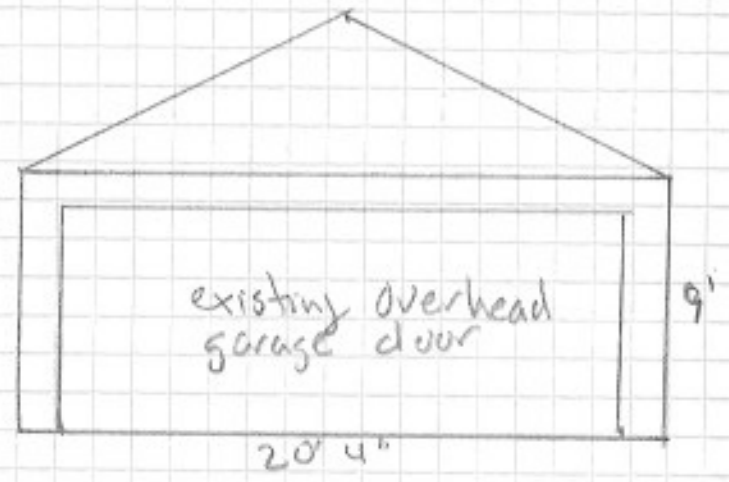


964 SW ferry

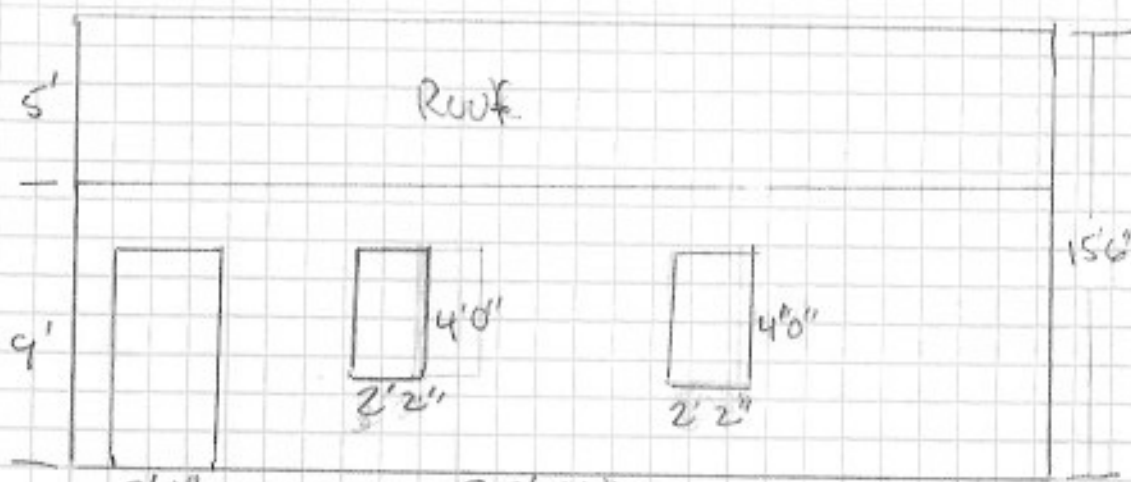
Proposed Elevations for garage conversion to ADU



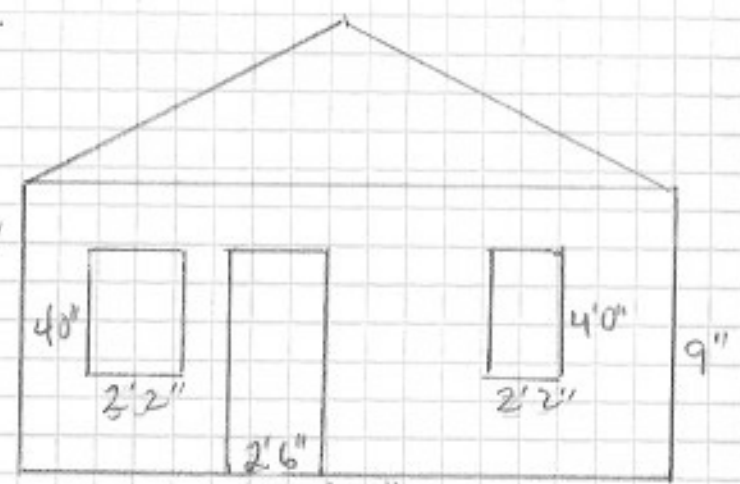
South Wall



East Wall



North Wall



West Wall

964 SW Ferry Garage Conversion

- * Existing ceiling height is 9'. Ceiling height will remain 9'.
- * Existing wall framing is 2x4 construction, 16" o.c. Siding will remain as existing.
- * All new headers will be 4x6 Doug. fir
- * existing roof is truss framed.
- * Refer to included engineering information

