



Albany Development Code Middle Housing Standards

Townhouses

The following information includes the general Albany Development Code (ADC) standards relating to Townhouse developments. Additional standard may be applicable to your specific project. If you have questions about your specific project, please contact us at cd.customerservice@cityofalbany.net or 541-917-7550.

Please note that the ADC and the [Oregon Residential Specialty Code](#) include different definitions for townhouses. This guide is intended for townhouse developments separated by real property lines, to comply with the ADC definition of townhouses. For 3 or 4 townhouses built on a single parcel, please review the Albany Development Code Middle Housing Standards: Three- and Four-Plex handout for the appropriate development standards.

Applicable ADC Definitions:

Townhouse: A dwelling unit that is part a grouping of two or more common wall dwelling units, each unit of which is built upon an individual subdivided or partitioned lot or parcel. Townhouses are also called single-family attached houses, rowhouses, and zero-lot-line houses.

Townhouse Project: One or more townhouse structures constructed, or proposed to be constructed, together with the development site where the land has been divided, or is proposed to be divided, to reflect the townhouse property lines and any commonly owned property.

Where Townhouses are permitted, the process, and requirements:

Middle housing will be allowed in residential areas where single-family homes are permitted with a building permit when the development code (ADC) and applicable building code, fire code and engineering standards are met.

Utilities: Lots must be served by water and sewer. Meter and line sizes are based on the number of plumbing fixtures within the individual townhouse and each townhouse is required to be independently served.

DEVELOPMENT CODE STANDARDS for Townhouses (ADC Table 3.190-1)

STANDARD BY ZONE for PARENT PARCEL	RR	RS-10	RS-6.5	HM	RS-5	RM	RMA	HDR
LOT SIZE – Minimum Lot size Average Minimum Lot Size* (due to maximum density)	1,500 sf 1.25 acres	1,500 sf 2,500 sf	1,500 sf 1,700 sf	1,500 sf 1,700 sf	1,500 sf 1,700 sf	1,500 sf 25 u/acre	1,500 sf 35 u/acre	None (20) 50 u/acre
Minimum Lot Width	20 ft	20 ft	20 ft	20 ft	20 ft	20 ft	None	None
Setbacks - additional setbacks may be required; see Sections 3.230-3.330 and buffer matrix in 9.210:								
Minimum Front	20 ft	20 ft	15 ft	15 ft	15 ft	15 ft	12 ft	10 ft
Maximum Front Setback	None	None	None	None	None	(14)	(14)	(14)
Minimum Interior: single-story	5 ft	5 ft	5 ft	5 ft	5 ft	3 ft	3 ft	3 ft
Minimum Interior: 2+ stories	8 ft	8 ft	8 ft	6 ft	6 ft	5 ft (5)(6)	5 ft (6)	5 ft (6)
Min. Garage/carport for vehicle entrance from streets	20 ft	20 ft	20 ft (7)	20 ft (7)	20 ft (7)	20 ft (7)	20 ft (7)	20 ft (7)
Maximum Height	30 ft	30 ft	30 ft	30 ft	30 ft	45 ft	60 ft	75 ft
Max. Lot Coverage buildings (9)	20% (11)	50%	60%	60%	60%	70%	70%	75 %

(6) More than 3 stories = 10 feet plus 3 feet for each story over 3 per unit requirements. Multiple-dwelling unit developments must also meet the setbacks in Section 8.270(3).

(7) Garage front setback for non-vehicle-entrance = 15 feet, except in RR and RS-10 zoning districts where the setback shall be 20 feet.

(9) Lot coverage for townhouses is calculated based on the overall townhouse project; cottage clusters are exempt from max lot coverage.

(14) See Section 8.240 for standards.

*There is a maximum density by zone for townhouses of 4 times the permitted density for a single-family detached dwelling or up to 25 units/net acre. Therefore, not all lots can be the minimum lot size of 1,500 as the lots in the development must meet the average. See 3.191(1) for details.

3.191 – (2) **Number of Attached Dwelling Units.** A townhouse project must contain at least two attached units. The maximum number of townhouse units that may be attached together to form a group is specified below.

- RR, RS-10, RS-6.5, and HM districts: up to 4 attached units per group
- RS-5 district: up to 6 attached units per group
- RM and RMA districts: up to 10 attached units per group
- HDR district no maximum

DESIGN STANDARDS that apply to TOWNHOUSES (ADC Article 8)

The purpose of these standards is to create pedestrian-friendly, sociable, safe, and attractive neighborhoods through human-scale design.

Applicability:

- The standards of ADC Sections 8.120 through 8.170 apply to all NEW townhouses in all zones that allow these housing types, except as otherwise noted.
- Development on flag lots or on lots that slope up or down from the street with an average slope of 20 percent or more is exempt from the standards in Sections 8.130 through 8.160.

8.120 - For property inside the Historic Overlay Districts and properties designated as Historic Landmarks, the provisions in Article 7 also apply. For development subject to historic review under Article 7, the review body may grant flexibility in meeting any of the design standards where necessary to achieve historic compatibility.

8.130 **Home Orientation.** These standards enhance public safety for residents and visitors and provide opportunities for community interaction by ensuring that the pedestrian entrance is clearly identifiable from the street and windows that look out to the street.

- (1) On each lot, at least one main entrance shall be within eight feet of the longest street-facing wall of the dwelling unit (excluding the garage); and either:
 - (a) Face the street (see Figure 8.130-1);
 - (b) Be at an angle of up to 45 degrees from the street; or
 - (c) Open onto a porch (see Figure 8.130-2). The porch must be at least 25 square feet in area; have at least one entrance facing the street; and have a roof that is:
 - No more than 12 feet above the floor of the porch; and
 - At least 30 percent solid. This standard may be met by covering 30 percent of the porch area with a solid roof, or by covering the entire area with a trellis or other open material if no more than 70 percent of the area of the material is open.
- (2) On sites with frontage on both a private street and a public street, the standards apply to the site frontage on the public street. On all other sites with more than one street frontage, the applicant may decide on which frontage to meet the standards, except as provided in subsection (3).
- (3) For a corner lot, any street-facing façade with a main entrance must meet the standards in subsection (1).

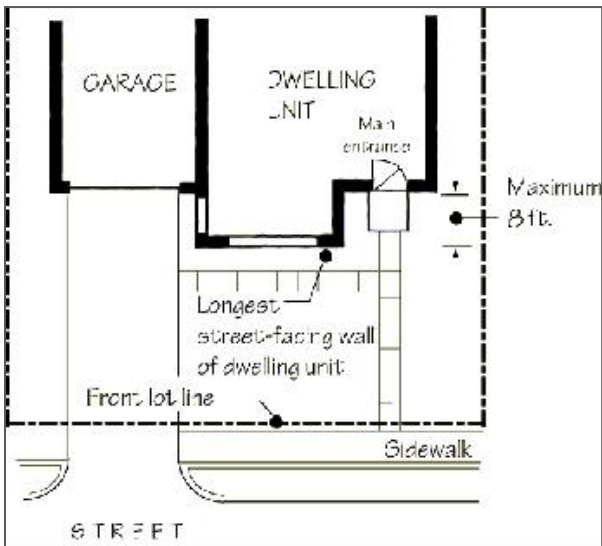


Figure 8.130-1. Front door facing the street

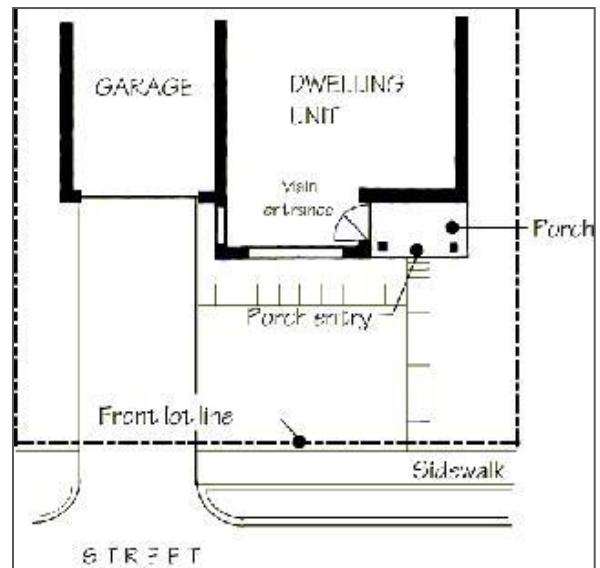


Figure 8.130-2. Front door opening onto porch

- (4) In the DMU, CB, HD, and WF zoning districts, in order to provide a transition between public space (the sidewalk) and private space (the home) while maintaining a visual and physical connection to the street, entrances to individual dwelling units must be set back at least five feet from the front lot line. The entrance must be covered for a depth of at least three feet. [Ord. 5894, 10/14/17]

8.133 - **Street-Facing Windows.** The standards enhance public safety by allowing people to survey their neighborhood from inside their residences; and provide a more pleasant pedestrian environment by preventing large expanses of blank facades along streets.

- (1) At least 15 percent of the area of each façade that faces a street lot line must be windows or main pedestrian entrance doors (see Figure 8.133-1).
- (2) All windows on a street-facing façade, including windows in garage doors and windows in doors that are not the main pedestrian entrance, may be counted toward meeting this standard.
- (3) For a pedestrian door to count toward meeting this standard, it must be the main entrance and face the street. For structures with more than one dwelling unit, each main entrance door that faces the street may count toward this standard.
- (4) For a corner lot, any street-facing façade with a main entrance must meet this standard.



Figure 8.133-1. Street Facing Window Coverage

8.170 - **Design Standards for Townhouses.** In all zoning districts except HD, CB, DMU, and WF, new townhouse developments shall meet the standards of this section. [In the HD, CB, DMU and WF zones, see ADC 8.160.]

Unit Articulation. The purpose of this standard is to promote townhouse development that provides visual interest and façade details that give a sense of quality and permanence. Each townhouse unit must include at least one of the following architectural features on at least one street-facing façade (see Figure 8.170-1):

- A. **Porch:** must meet the standards in 8.130(1)(c).
- B. **Dormer:** min. 4 ft wide, inset min. 3 ft from all side walls.
- C. **Balcony:** facing the street and accessible from an interior room, min. depth of 3 ft.
- D. **Eaves:** overhang of not less than 12 inches.
- E. **Offset:** offset in facade or roof of at least 2 ft that extends for at least 4 ft.
- F. **Bay window:** projects from front elevation by 12 to 24 inches.

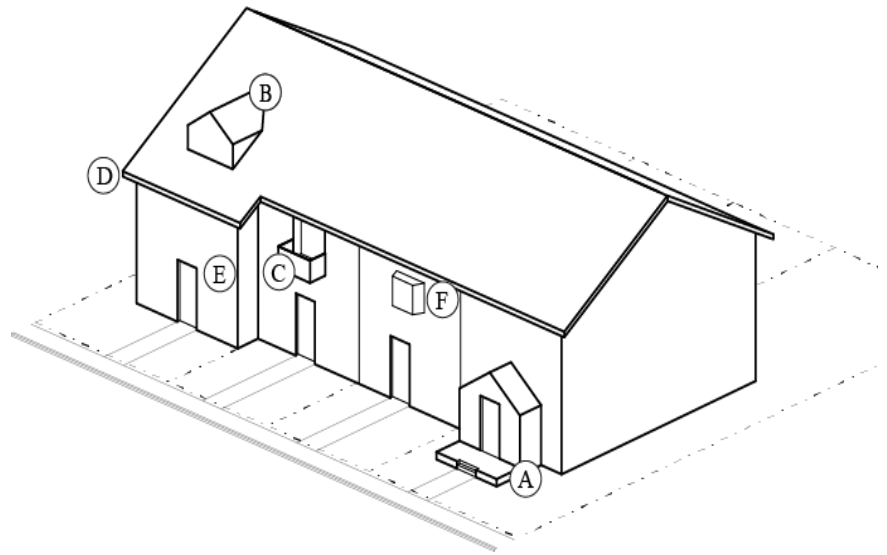


Figure 8.170-1. Townhouse Unit Articulation

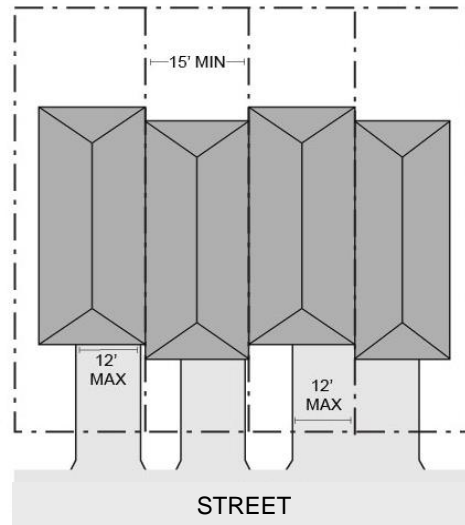
8.140 - **Driveway Spacing.** The purpose of the standards is to preserve space for on-street parking and opportunities for front yard landscaping. The following standard applies to all lots for which street driveway access is provided, except for flag lots and lots where parking is accessed via an alley. Spacing between driveways is measured along the front property line. Each lot must meet one of the following:

- (1) Two off-street parking spaces per unit are provided and the driveway(s) meets the minimum separation standard in ADC Subsection 12.100(2); or
- (2) A minimum of 22 feet of contiguous street frontage (uninterrupted by driveways) is provided; or
- (3) The driveway(s) are spaced a minimum of 22 feet from adjacent driveways. Driveways may be shared by two abutting lots.

8.170(2) - **Driveway Access and Parking.** The purpose of these standards is to support a pedestrian-friendly street environment by minimizing the visual and safety impacts of driveways, parking, and garages; and to preserve on-street parking. See Article 12 for additional access standards. [Townhouses in the DMU, CB, HD and WF zones see ADC 8.150.]

- (a) For development sites abutting an alley that is improved according to the standards of Article 12, vehicle access shall be via the alley rather than the public street (see Figure 8.165-3 in the ADC).
- (b) Garages on the front façade of a townhouse, off-street parking areas in the front yard, and driveways in front of a townhouse are allowed if they meet the following standards (see Figure 8.170-2 next page).
 - i. Only one driveway is allowed for every townhouse unit. Driveway approaches and/or driveways may be shared.
 - ii. Outdoor on-site parking and maneuvering areas do not exceed 12 feet wide on any lot.
 - iii. No more than one (1) street-facing garage door for motor vehicle ingress/egress is permitted per townhouse unit. Each street-facing garage door for motor vehicle ingress/egress may not exceed 12 feet in width.
- (c) The following standards apply to driveways and parking areas for townhouse projects that do not meet all of the standards in subsection (a) or (b).

Figure 8.170-2. Townhouse Driveway Example



- i. Off-street parking areas shall be accessed on the back façade or located in the rear yard. No off-street parking shall be allowed in the front yard or side yard of a townhouse.
 - ii. A townhouse project that includes a corner lot shall take access from a single driveway approach on the side of the corner lot. See Figure 8.170-3. Shared driveways serving four (4) or more townhouses must be public alleys, or a private access created through a Planned Development.
 - iii. Townhouse projects that do not include a corner lot shall consolidate access for all lots into a single driveway. The driveway and approach are not allowed in the area directly between the front façade and front lot line of any of the townhouses. See Figure 8.170-4. Shared driveways serving four (4) or more townhouses must be public alleys, or a private access created through a Planned Development.
- (d) A townhouse project that includes consolidated access or shared driveways shall grant access easements to allow normal vehicular access and emergency access.
- (e) The standards of ADC Section 12.230 regarding design requirements abutting arterials do not apply. However, the standards of ADC 12.100 regarding limiting the location, width, and number of accesses to arterials do apply.

Figure 8.170-3. Townhouses on Corner Lot with Shared Access

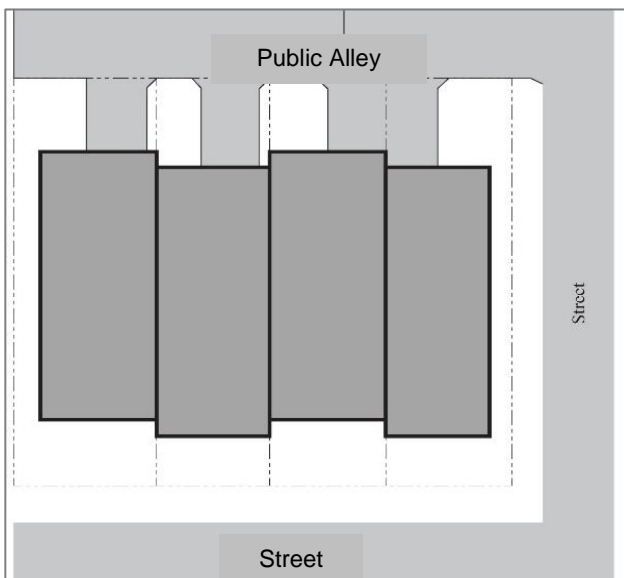


Figure 8.170-4. Townhouses with Consolidated Access (thru Planned Development)

