



COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | BUILDING & PLANNING 541-917-7550

Notice of Decision

Site Plan Review

SP-15-23

August 7, 2023

Application Information

Proposal:	Site Plan Review for the construction of a mobility hub on the existing circulating roadway at Linn-Benton Community College.
Review Body:	Staff (Type I-L review)
Property Owner/Applicant:	Sheldon Flom, Linn Benton Community College, 6500 Pacific Blvd SW, Albany, OR 97321
Representative:	Robin Scholetzky, Urban Lens Planning, LLC, 3439 SE Hawthorne #215, Portland, OR 97214
Address/Location:	6500 Pacific Blvd SW, Albany, OR 97321
Map/Tax Lot:	Linn County Assessor's Map No. 11S-04W-25 Tax Lot 1200
Zoning:	Single-Dwelling Unit District (RS-6.5)
Existing Land Use:	Institutional - Community College

On August 3, 2023, the City of Albany Community Development Director granted **APPROVAL WITH CONDITIONS** of the application referenced above.

The City based its decision on the project's conformance with the review criteria listed in the Albany Development Code (ADC). The supporting documentation relied upon by the City in making this decision is available for review at City Hall, 333 Broadalbin Street SW. Conditions of approval are attached to this notice. For more information, please contact the project planner, **Liz Olmstead** at 541-917-7640 or Current Planning Manager David Martineau at 541-917-7555.

The City's decision may be appealed to the Planning Commission if a person with standing files a Notice of Intent to Appeal not later than 10 days after the Director's notice of decision is mailed [ADC 1.330(5)(a)]. The applicants may proceed, at their own risk, prior to the end of the appeal period, provided they sign a Release and Indemnity Agreement with the City.

Signature on file

Community Development Director

Appeal Deadline: August 17, 2023

Approval Expiration Date (if not appealed): August 7, 2026

Attachments: Information for the Applicant, Location Map, Site Plan

Conditions of Approval

Condition 1 Bicycle Parking. Prior to commencement of the use, bicycle parking space details shall be submitted for review and approval by the Community Development Department. The plan must be consistent with the bicycle parking standards of ADC 9.030.

The issuance of this decision by the City of Albany does not eliminate the need for compliance with other federal, state, or local regulations. It is the applicant's responsibility to contact other federal, state, or local agencies or departments to ensure compliance with all applicable regulations.

Information for the Applicant

Please read the following requirements. This list is not meant to be all-inclusive; we have tried to compile requirements that relate to your specific type of development. These requirements are not conditions of the land use decision. They are Albany Municipal Code (AMC) or Development Code regulations or administrative policies of the Planning, Engineering, Fire, or Building Departments that you must meet as part of the development process. You must comply with state, federal, and local law. The issuance of this permit by the City of Albany does not eliminate the need for compliance with other federal, state, or local regulations. It is the applicant's responsibility to contact other federal, state, or local agencies or departments to ensure compliance with all applicable regulations.

Planning

1. Land use approval does not constitute Building or Public Works permit approvals.
2. Construction of the development must substantially conform to the approved Site Plan Review.
3. This proposal must be initiated within three years of the date of this letter of approval.

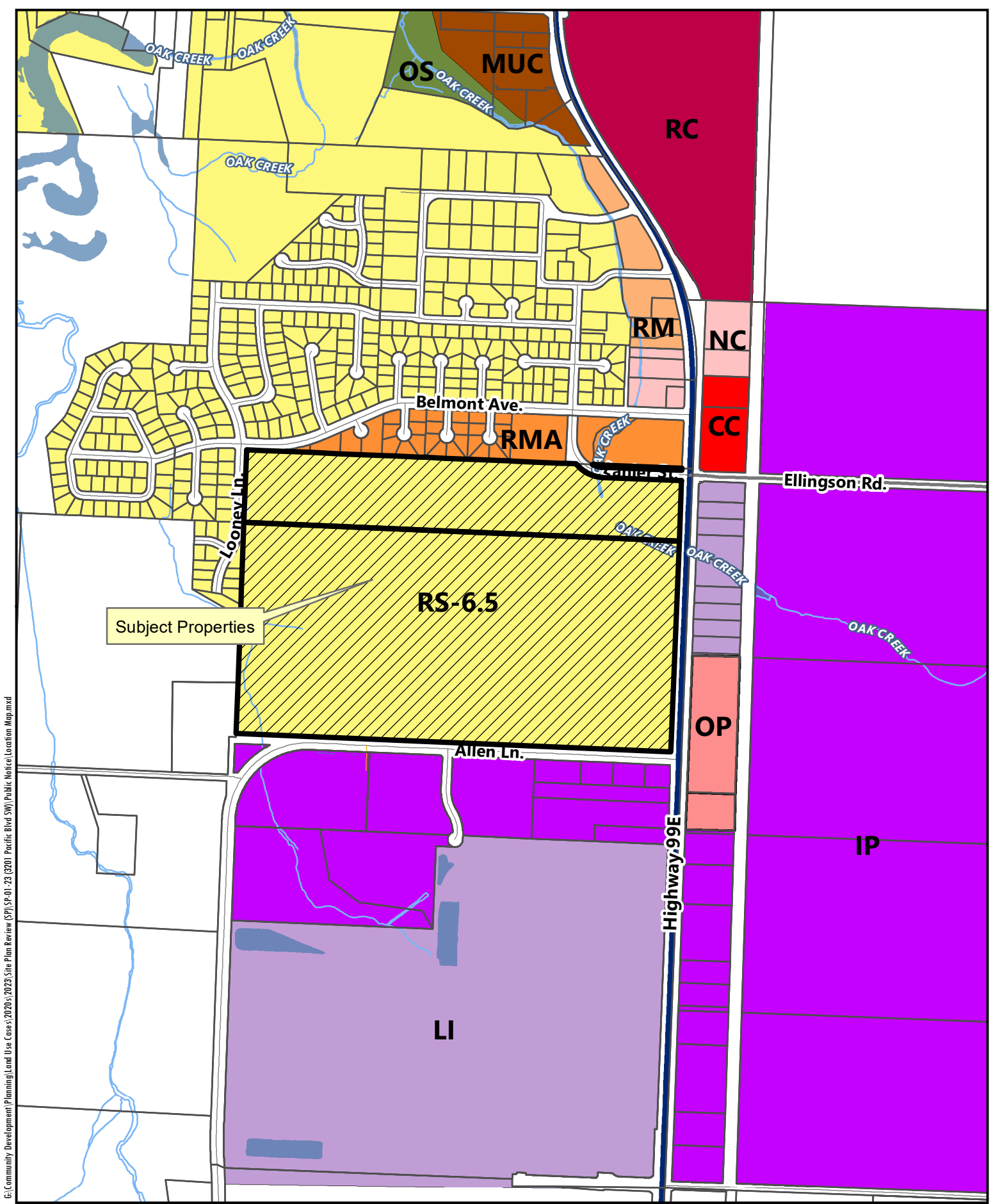
Building

The Building Division within Community Development has provided the following comments:

1. The proposed project may require permits that will need to be applied for at www.cityofalbany.net/permits. For questions about permitting requirements, please email cd.customerservice@cityofalbany.net.
2. The proposed design has not been reviewed for code compliance with the Oregon Building Code and the design will need to meet the applicable Oregon Building Code requirement in effect at time of application.

Engineering

1. The City of Albany's infrastructure records, drawings, and other documents have been gathered over many decades, using differing standards for quality control, documentation, and verification. All information provided represents the current information we have in a readily available format. While the information we provide is generally believed to be accurate, occasionally this information proves to be incorrect, and thus we do not warrant its accuracy. Prior to making any property purchases or other investments based, in full or in part, upon the information provided, we specifically advise that you independently field verify the information contained within our records.
2. An erosion prevention and sediment control (EPSC) permit shall be obtained for land-disturbing activities affecting an area of 2,000 square feet or greater, cumulatively (AMC 12.40.030)



G:\Community Development\Planning\Land Use Cases\2020s\2023\Site Plan Review (SP)\SP-01-23 (320) Pacific Blvd SW\Public Notice\Location Map.mxd



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 Feet

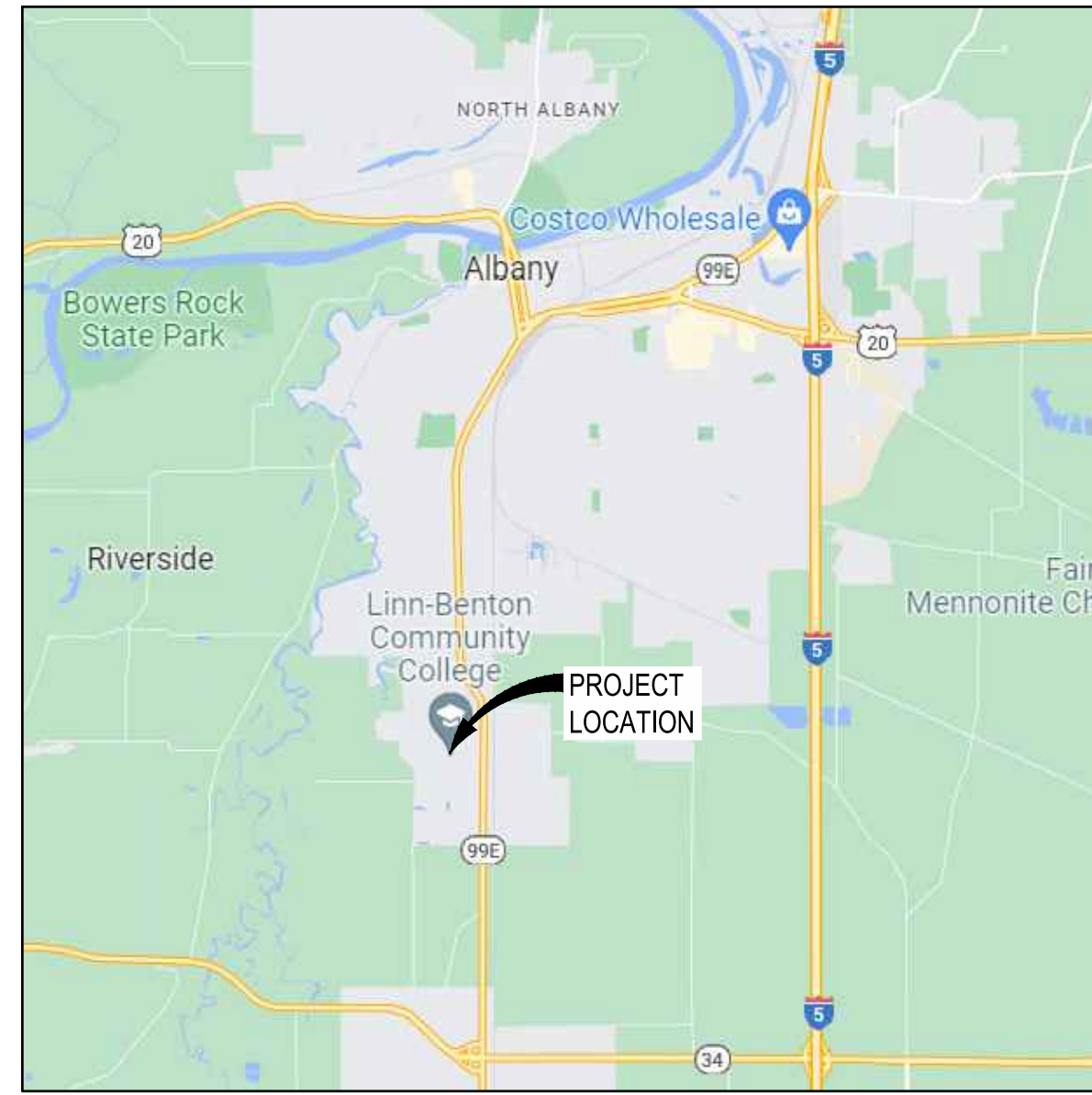
6500 Pacific Boulevard SW

Date: 6/27/2023 Map Source: City of Albany

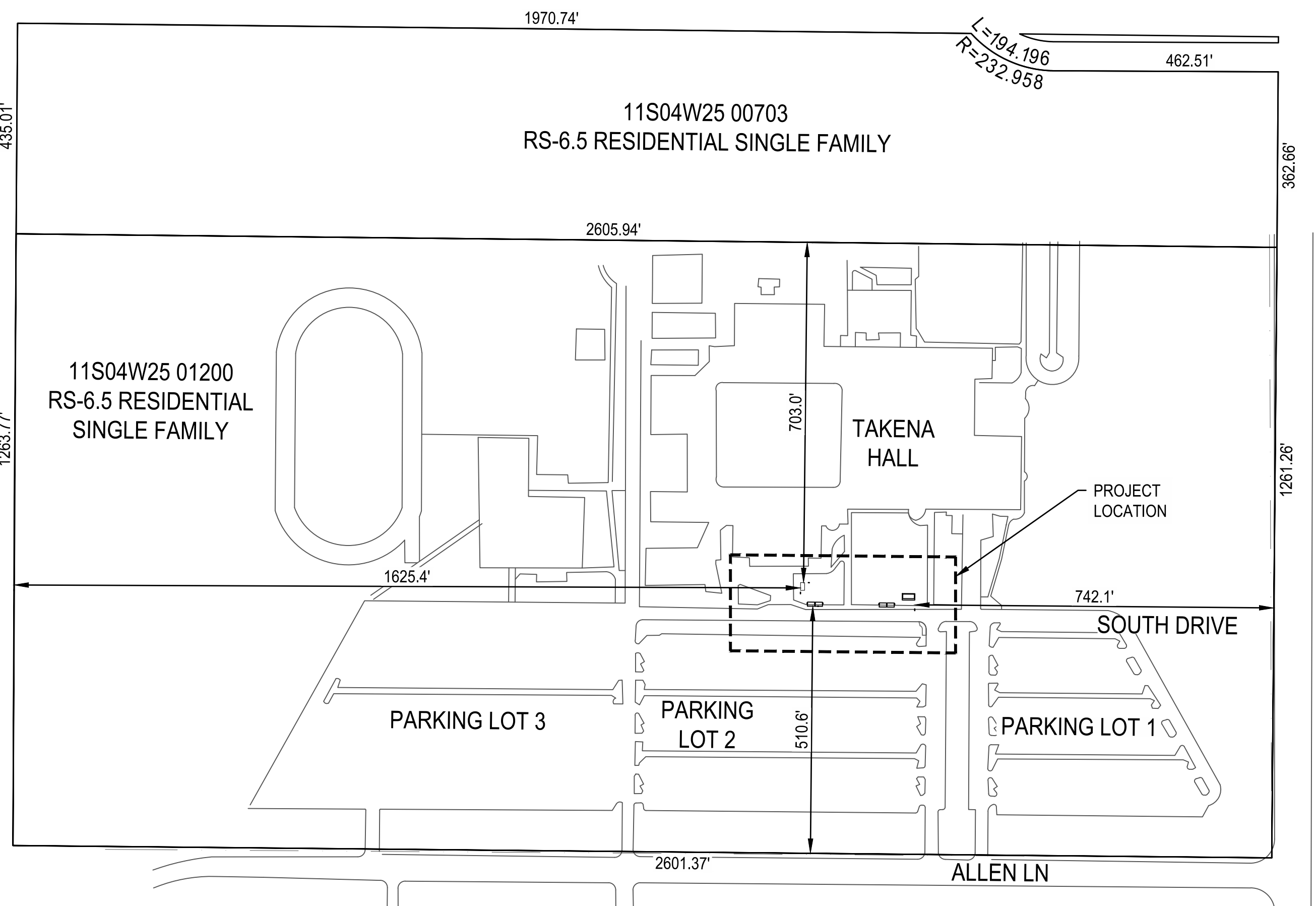
Location Map

LINN-BENTON COMMUNITY COLLEGE MOBILITY HUB

6500 PACIFIC BLVD SW, ALBANY, OR 97321



VICINITY MAP
N.T.S.



SITE MAP
N.T.S.

SHEET INDEX	
SHEET NUMBER	DESCRIPTION
G1.0	COVER
D1.0	DEMOLITION PLAN
EC1.0	EROSION CONTROL PLAN
C1.0	SITE PLAN
C2.0	DETAILS
C2.1	GRADING PLAN
C2.2	GRADING PLAN
C2.3	GRADING PLAN
U1.0	UTILITY PLAN
ST1.0	SIGNING AND STRIPING PLAN
A2.0	SHELTER PLAN SECTIONS/ELEVATIONS
A2.1	RESTROOM PLANS-ELEVATIONS
A2.2	RESTROOM SECTIONS & DETAILS
S1.00	GENERAL NOTES
S2.00	CANOPY PLAN
S2.10	RESTROOM PLAN
S3.00	FOUNDATION DETAILS
S4.00	MASONRY DETAILS
S5.00	CONNECTION DETAILS
P0.1	PLUMBING LEGEND
P0.2	PLUMBING CALCULATIONS
P1.1	PLUMBING ENLARGED PLANS
E0.1	ELECTRICAL LEGEND
E0.2	LUMINAIRE SCHEDULE & LIGHTING MATRIX
E1.1	ELECTRICAL SITE PLAN
E2.1	ELECTRICAL ENLARGED PLANS RESTROOM
E2.2	ELECTRICAL ENLARGED PLANS SHELTER
E3.1	ONE LINE DIAGRAM & PANEL SCHEDULE

AREAS WITHIN PROJECT AREA/SQUARE FEET		
AREA	EXISTING	PROPOSED
STRUCTURES (SHELTER/WALKWAY CANOPY, FUTURE MICROMOBILITY SHELTER)	N/A	1,038 SF
SIDEWALK	157,206 SF	5,650 SF
ASPHALT (DRIVE AISLES)	772,778 SF	814 SF
LANDSCAPING/GRASS	1,960,502 SF	2,233 SF
STORMWATER SWALES	N/A	0 SF
NEW/REPLACED IMPERVIOUS	N/A	7,076 SF
TOTAL	2,890,486 SF (TOTAL TAXLOT)	20,543 SF (PROJECT EXTENTS)

PROJECT CONTACTS:

CIVIL ENGINEER:
PARAMETRIX
CONTACT: SETH RANKIN, PE
(541) 508-7605
SRANKIN@PARAMETRIX.COM

ARCHITECT:
CONTACT: WATERLEAF
JON STYNER AIA, LEED AP BD+C
(503) 228-7571
JONS@WATERLEAF.COM

STRUCTURAL ENGINEER:
PARAMETRIX
CONTACT: JAKE LINKE, PE
(253) 820-1140
JWLINK@PARAMETRIX.COM

MECHANICAL/ELECTRICAL ENGINEER:
COLEBREIT/AXIOM
CONTACT: BRUCE JESSUP
(206) 571-8987
BRUCE.JESSUP@COLEBREIT.COM

PLUMBING ENGINEER:
COLEBREIT/AXIOM
CONTACT: MICHAEL LEAVITT
(541) 236-0466
MICHAEL.LEAVITT@COLEBREIT.COM

PLANNING:
URBAN LENS PLANNING
CONTACT: ROBIN SCHOLETZKY, AICP, LEED AP ND
(971) 706-8720
ROBIN@URBANLENSPANNING.NET

OWNER/APPLICANT:
LINN-BENTON COMMUNITY COLLEGE
CONTACT: KEVIN NICHOLSON
(541) 917-4337
NICHOLK@LINNBENTON.EDU

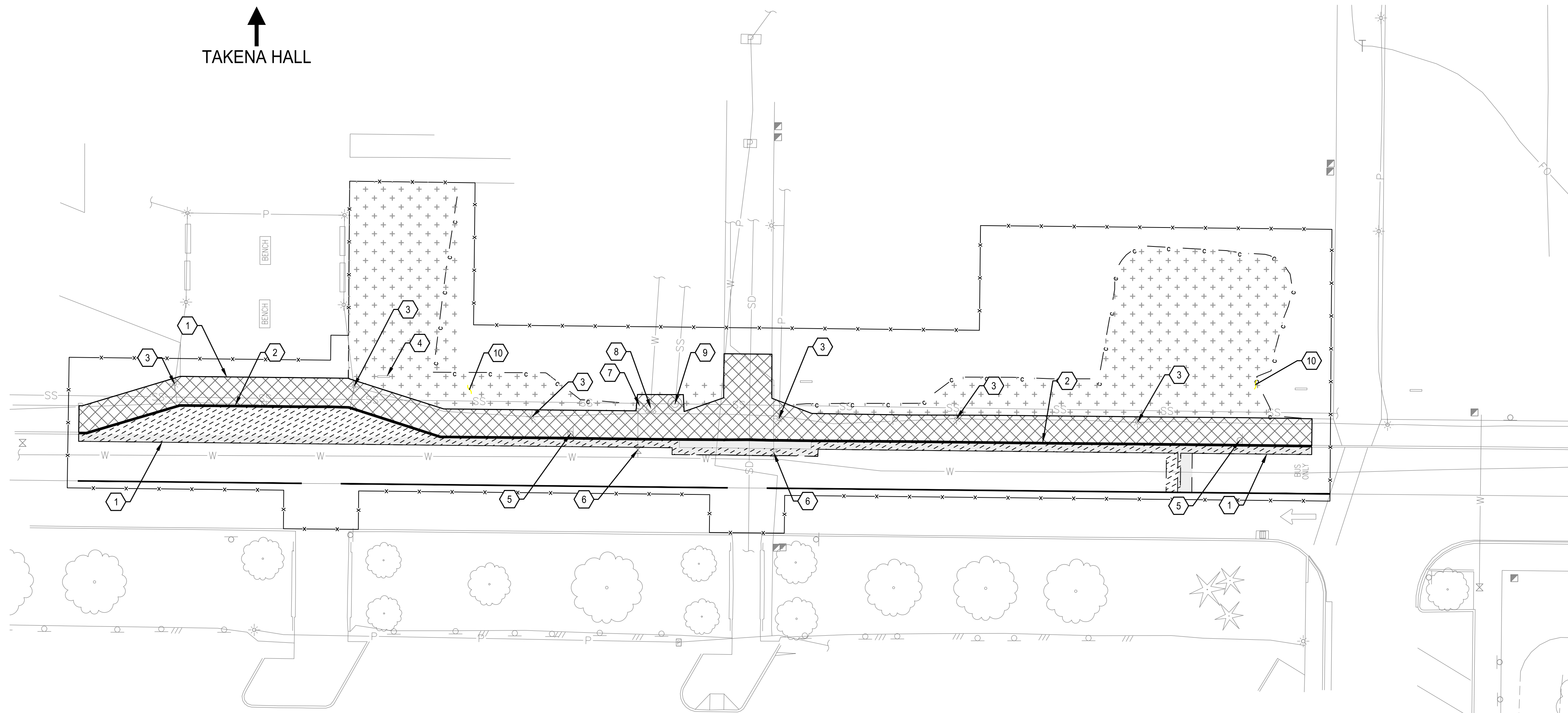


Know what's below.
Call before you dig.



60% DESIGN

LINN-BENTON COMMUNITY COLLEGE	
MOBILITY HUB	
COVER	
CITY OF ALBANY	
DATE: 05/12/2023 PROJECT NO.:	
DESIGNED BY: KE/SR/CL	
DRAFTED BY: CL/SR	
CHECKED BY: RWR	
NO. DATE:	1. 2. 3.
REVISIONS	
Sheet No. G1.0	



GENERAL NOTES:

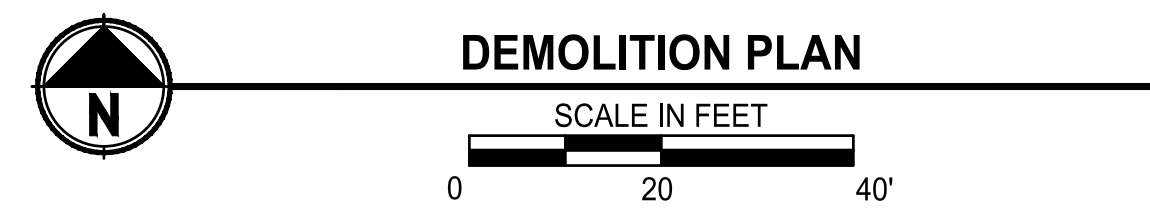
1. REMOVAL OF EXTG. SURFACES INCLUDING ASPHALT, CONCRETE, SIDEWALKS AND CURBS ARE INCLUDED IN THE GENERAL EXCAVATION QUANTITY.
2. ALL CONCRETE CURBS AND SIDEWALK IDENTIFIED FOR REMOVAL SHALL BE REMOVED TO THE CLOSEST CONTROL JOINT, UNLESS OTHERWISE NOTED IN THESE PLANS.
3. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES, INFRASTRUCTURE, AND IMPROVEMENTS IN PLACE. ANY DAMAGE TO EXISTING FACILITIES OR IMPROVEMENTS, RESULTING FROM THE CONTRACTOR'S OPERATION, SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.

DEMOLITION NOTES:

- 1 SAWCUT EXTG. ASPHALT AND CONCRETE SURFACES
- 2 SAWCUT, REMOVE AND DISPOSE OF EXTG. CONCRETE CURB
- 3 REMOVE AND SALVAGE EXTG. LIGHTED BOLLARDS
- 4 REMOVE AND PRESERVE EXTG. BUILDING DIRECTORY FOR REINSTALLATION
- 5 SEE SIGNING AND STRIPING PLAN (SHEET ST1.0) FOR RELOCATION AND REMOVAL OF EXTG. SIGNAGE
- 6 PROTECT EXTG. VALVE AND VALVE BOX IN PLACE
- 7 PROTECT EXTG. HYDRANT ASSEMBLY IN PLACE. SEE SHEETS C2.2 AND U1.0 FOR ADJUSTMENT INFORMATION
- 8 PROTECT EXTG. FIRE DEPARTMENT CONNECTION IN PLACE. SEE SHEETS C2.2 AND U1.0 FOR ADJUSTMENT INFORMATION
- 9 PROTECT EXTG. SANITARY SEWER MANHOLE IN PLACE. SEE SHEETS C2.2 AND U1.0 FOR ADJUSTMENT INFORMATION
- 10 EXTG. IRRIGATION SYSTEM NOT SURVEYED. REMOVE CONFLICTING IRRIGATION SPRINKLER HEADS AND UNDERGROUND IRRIGATION PIPING. CONTRACTOR TO COORDINATE WITH LBCC MAINTENANCE STAFF TO EXTEND COVERAGE AND REPAIR IRRIGATION SYSTEM TO FULLY OPERATIONAL CONDITION

LEGEND:

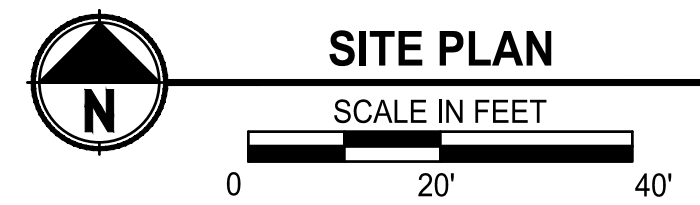
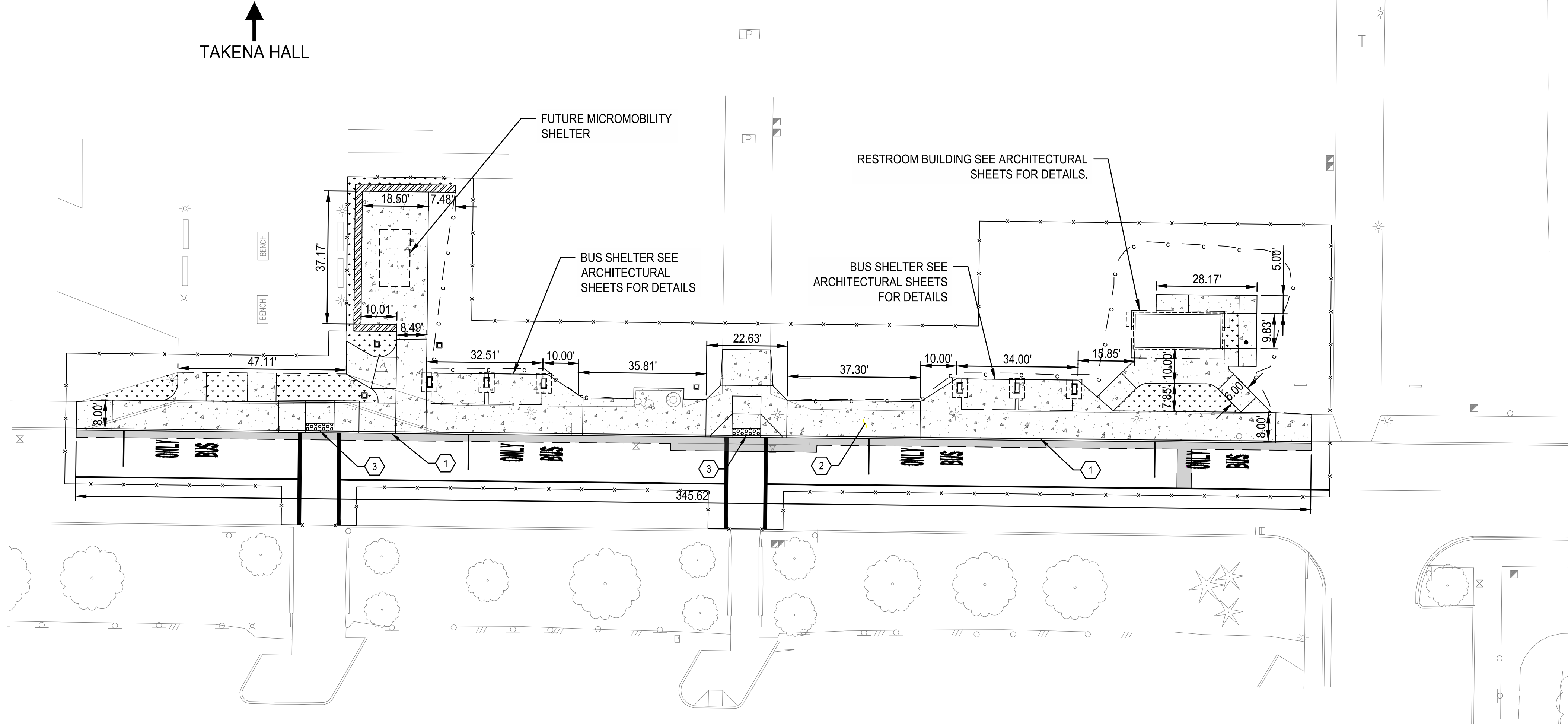
- EXTG. DECIDUOUS TREE
- EXTG. JUNIPER OR CEDAR TREE
- CLEARING & GRUBBING
- REMOVE EXTG. ASPHALT, BASE MATERIAL AND OTHER CLASSIFIED MATERIAL TO SUBGRADE
- REMOVE EXTG. CONCRETE, BASE MATERIAL AND OTHER UNCLASSIFIED MATERIAL TO SUBGRADE
- REMOVE EXTG. CURB
- PROJECT WORKING EXTENTS
- CUT SLOPE
- ASPHALT SAWCUT



60% DESIGN

NO.	DATE	REVISIONS
1.		
2.		
3.		

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TAKENA HALL



GENERAL NOTES:

1. SEE GRADING AND DRAINAGE SHEETS FOR GRADING INFORMATION AND ADDITIONAL DETAILS
2. SEE SHEET ST1.0 FOR SIGNING AND STRIPING DETAILS

CONSTRUCTION NOTES:

- ① CONSTRUCT STRAIGHT CURB PER DETAIL 2 ON SHEET C2.0
- ② CONSTRUCT CONCRETE SIDEWALK PER DETAIL 4 ON SHEET C2.0
- ③ CONSTRUCT CURB RAMP (SEE SHEETS C2.1-C2.3 FOR GRADING DETAILS) (FOR TRUNCATED DOME DETAILS, SEE ODOT STD. DWG. RD759)

LEGEND:

- - - - - FILL SLOPE
- C - C - CUT SLOPE
- X - X - PROJECT WORKING EXTENTS
- - - - - FACE/BACK OF CURB
- - - - - EDGE OF CONCRETE WALK
- - - - - ASPHALT SAWCUT
- [Pattern] IRRIGATED LANDSCAPING AREA (SEE LANDSCAPING PLAN TO BE PROVIDED WITH 90% SUBMITTAL)
- [Pattern] CONCRETE SIDEWALK
- [Pattern] ASPHALT PAVING (SEE SHEET C2.0 FOR DETAILS)
- [Pattern] SEAT WALL. SEE ARCHITECTURAL PLANS FOR DETAILS (TO BE PROVIDED WITH 90% SUBMITTAL)
- [Symbol] AREA DRAIN - SEE GRADING PLANS FOR DETAILS

60% DESIGN

LINN-BENTON COMMUNITY COLLEGE
 MOBILITY HUB
SITE PLAN
 CITY OF ALBANY
 PROJECT NO.:

CITY OF ALBANY
 DEPARTMENT OF COMMUNITY SERVICES
 TRANSPORTATION DIVISION
 333 BROADALBIN ST SW, ALBANY, OR 97321

DESIGNED BY:
 KE/SR/CL
 DRAFTED BY:
 CL/SR
 CHECKED BY:
 RWR

NO.	DATE	REVISIONS
1.		
2.		
3.		

Sheet No. **C1.0**